



WEBER COUNTY PLANNING DIVISION

Administrative Review Meeting Agenda

**May 6, 2026
4:00 pm**

1. **Administrative Items**

1.1UVC030426: Request for final subdivision approval of Chalets at Powder Mountain Phase 2, consisting of four lots and private road dedication. This proposed subdivision is located in the DRR-1 Zone and located at approximately 8700 Shelter Hill Road, Eden, UT, 84310.

Staff Presenter: Tammy Aydelotte

1.2 LVL022526: Consideration and action on a request for final approval of the Little Mountain Industrial Park Subdivision, consisting of six manufacturing lots.

Staff Presenter: Felix Lleverino

Adjourn

The meeting will be held in Public Works Conference Room, in the Weber Center, 2nd Floor Suite240, 2380 Washington Blvd, Ogden Utah 84401

****Public comment may not be heard during administrative items. Please contact***

The Planning Division Project Manager at 801 -399-8374 before the meeting if you have questions or comments regarding an item*

In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8374



Staff Report for Administrative Review

Weber County Planning Division

Synopsis

Application Information

Application Request: Request for final subdivision approval of Chalets at Powder Mountain Phase 2, consisting of four lots and private road dedication. This proposed subdivision is located in the DRR-1 Zone and located at approximately 8700 Shelter Hill Road, Eden, UT, 84310.

Type of Decision: Administrative

Agenda Date: Wednesday, May 06, 2026

Applicant: Summit Mountain Holding Group, LLC

File Number: UVC030426

Property Information

Approximate Address: 8700 Shelter Hill Road, Eden, UT, 84310

Project Area: 2.314 total acres

Zoning: Ogden Valley Destination and Recreation Resort Zone DRR-1

Existing Land Use: Vacant

Proposed Land Use: Residential

Parcel ID: 23-012-0201

Township, Range, Section: T7N, R2E, Section 9 SW Qtr

Adjacent Land Use

North: Ski Resort/Resort Development	South: Ski Resort/Resort Development
East: Ski Resort/Resort Development	West: Shelter Hill Rd

Staff Information

Report Presenter: Tammy Aydelotte
taydelotte@webercountyutah.gov
 801-399-8794

Applicable Ordinances

- Title 101, Chapter 1 General Provisions, Section 7, Definitions
- Title 104, Chapter 29 Ogden Valley Destination and Recreation Resort Zone (DRR-1)
- Title 106, Subdivisions, Chapter 1-8 as applicable
- Title 108, Standards, Chapter 8 Parking and Loading Space, Vehicle Traffic and Access Regulations

Summary and Background

1/14/2015 – Zoning Development Agreement for Summit Group is recorded.

1/12/2019 – First Amendment to Zoning Development Agreement is recorded.

11/30/2022 – Second Amendment to Zoning Development Agreement is recorded.

9/24/2024 – Preliminary approval granted by Ogden Valley Planning Commission.

9/24/2024 – Approval granted for minor changes to the concept area development plans where this project is located.

3/4/2026 – Chalets at Powder Mountain Phase 1 recorded

The applicant is proposing four lots whose areas range from 17,348-31,467 square feet. Extensions of private roadway include a private cul-de-sac. The Planning Division recommends final subdivision approval of Chalets at Powder Mountain Phase 2. The proposed subdivision is in the DRR-1 zone and will consist of a total of four single-family lots.

As of the date of this staff report, the total number of recorded lots under the Summit/Powder Mountain recorded development agreement is 245. The submitted development report accounts for the number of lots in progress and those that have been platted/recorded, as well as the number of building permits that have been submitted under the master development agreement. This is listed as a condition of approval, prior to the subdivision being recorded or a written decision being issued.

Analysis

Improvements Required: Weber County Engineering and the Weber Fire District have approved a 60' wide private right-of-way within this development area. The proposed roadway widths do not conflict with any requirements in the recorded development agreement. The applicant will submit escrow funds for all required improvements. The submitted cost estimate has been approved by Weber County Engineering.

Culinary water and sanitary sewage disposal: Powder Mountain has already supplied a capacity assessment letter from Powder Mountain Water and Sewer Improvement District. Proof of a connection fee from Powder Mountain Water and Sewer District will be required to be submitted prior to receiving a building permit from Weber County.

Additional Development Standards: Trails and associated trail easements are to remain open and available to the public. This proposed subdivision may disrupt existing public trail access. As such, the developer has been asked to provide an updated trails master plan, to ensure continued access and use of these trails by the public. This shall be submitted prior to further subdivision applications being submitted by the applicant (Powder Mountain).

Review Agencies: Weber County Engineering, the Weber County Surveyor, and Weber Fire District have all reviewed and approved the final plat.

Staff Recommendation

Staff recommend final approval of the Chalets at Powder Mountain Phase 2, consisting of four lots and dedicated private roadway. This recommendation for approval is subject to any conditions outlined in this staff report, and all review agency requirements and is based on the following additional conditions:

1. A "Natural Hazards Disclosure" document shall be recorded with the final plat.
2. Escrow for all improvements shall be submitted, and an Improvements Guarantee Agreement shall be signed by the applicant prior to any signatures on a final plat.

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the recorded development agreement and subsequent amendments.
2. The proposed subdivision conforms to the applicable parts of the Ogden Valley General Plan.
3. The proposed subdivision will not deteriorate the environment of the general area so as to negatively impact surrounding properties and uses.

Exhibits

- A. Application
- B. Proposed Final Plat
- C. Capacity Assessment/Will-Serve Letter

Location Map 1



Exhibit A-Application

Chalets At Powder Mountain Phase 2 Subdivision

- [+ Add Follower](#)
- [✎ Change Status](#)
- [✎ Change Review Due Date](#)
- [✎ Edit Project](#)

Address: P.O. Box 1119, Eden, UT, 84310 Maps: Google Maps Project Type: Subdivisions Sub Type: Small Subdivision Created By: Erik Anderson Created On: 2/2/2026	Project Status: Accepted Status Date: 3/4/2026 File Number: UVC030426 Project Manager: Tammy Aydelotte
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- [Application](#)
 - [Documents](#) 15
 - [Comments](#) 1
 - [Reviews](#) 11
 - [Followers](#) 18
 - [History](#)
 - [Reminder](#) 0
 - [Payments](#) 1
- [Area Fees](#) [Internal](#) 0

Application

- [Show Contact Details](#)
- [+ Add Building](#)
- [+ Add Parcel](#)
- [✎ Edit Application](#)
- [+ Add a Contractor](#)
- [Print](#)
- [Building Permit](#)

Project Description The Chalets At Shelter Hill Subdivision Phase 2 Plat includes 4 single family residential lots.

Property Address P.O. Box 1119
Eden, UT, 84310

Property Owner Brooke Hontz

Representative Erik Anderson

Accessory Dwelling Unit	False
Current Zoning	DRR-1
Subdivision Name	Chalets At Powder Mountain Phase 2
Number of new lots being created	4
Number of lots affected	0
Number of lots approved	0
Lot Number	4 (Lots 54-57)
Lot Size	Varies
Frontage	Varies
Culinary Water Authority	Powder Mountain Water and Sewer District
Secondary Water Provider	Not Applicable
Sanitary Sewer Authority	Powder Mountain Water and Sewer Improvement District
Nearest Hydrant Address	3923 N Wolf Creek Dr.
Signed By	Representative, Erik Anderson

Parcel Number

✖ Remove 230120201



January 23, 2026

Ogden Valley Township Planning Commission
2380 Washington Blvd., Suite 240
Ogden, Utah 84401

*Re: Commitment to provide culinary water and sanitary sewer services for the Chalet Phase 2
Powder Mountain second phase neighborhood*

CAPACITY ASSESSMENT LETTER

This capacity assessment letter is issued by the Powder Mountain Water and Sewer Improvement District (the "District"), in connection to a certain real estate project proposed to be developed by Powder Haven, LLC

The district confirms that it has adequate capacity to provide water and sewer services to serve four (4) Equivalent Residential Units ("ERUs") in connection with the Chalet at Powder Mountain second phase plat, requested by Powder Haven.

Building permits shall not be issued without final approval by the district. Final approval is subject to meeting all applicable requirements of the district and payment of all applicable fees.

The district's commitment set forth in this letter is effective as of the date of this letter.

**POWDER MOUNTAIN WATER AND
SEWER IMPROVEMENT DISTRICT**

By:  _____

Andrew Stark-Chairman



Staff Report to the Weber County Planning Division

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration, and action on a request for final approval of the Little Mountain Industrial Park Subdivision, consisting of six manufacturing lots.

Agenda Date: Wednesday, May 06, 2026

Applicant: Scott Carlson (Authorized Representative)

File Number: LVL022526

Property Information

Approximate Address: 9175 W 900 S Ogden, Utah, 84401

Project Area: 41.1 Acres

Zoning: Manufacturing (M-3)

Existing Land Use: Vacant

Proposed Land Use: Manufacturing

Parcel ID: 10-041-0042, 10-041-0041, 10-041-0040, 10-041-0035, 10-041-0036, 10-041-0037

Township, Range, Section: T6N, R3W, Sections 20

Adjacent Land Use

North: Vacant	South: Vacant
East: RC Airport	West: Industrial

Staff Information

Report Presenter: Felix Lleverino
 flleverino@co.weber.ut.us
 801-399-8767

Report Reviewer: RG

Applicable Land Use Codes

- Title 101 (General Provisions) Chapter 1 (Definitions)
- Title 104 (Zones) Chapter 21 (Manufacturing, M-3)
- Title 106 (Subdivisions) Chapter 1 (General Provisions) Section 8 (Final Plat Requirements)

Background and Summary

The applicant is requesting approval of a six-lot subdivision. Each lot within this development will be accessed from a public street called 9175 West. The public road design shall adhere to the design criteria found in the Geotechnical Consultation – Pavement Sections for the industrial development. The conclusions and recommendations of the Geotechnical provide direction regarding road preparations. The contract engineer has stated that a decal lane, widening 900 South to a three-lane cross section, is scheduled for construction together with 9175 West road construction. The civil plans created by Twin Peaks Engineering and Land Surveying display that these county engineering design requirements are satisfied.

The Western Weber General Plan indicates that 900 South Street requires a 132’ right of way. The Little Mountain Industrial plan depicts preserves that area for right-of-way acquisition at the time when it is needed by the County. An additional 16’ of right-of-way to the county to conform with **Section 106-2-2.010**.

As part of the approval process, the proposal has been reviewed against the current Weber County Land Use Code (LUC) and the standards of the M-3 zone found in LUC §104-21. The following section is a brief analysis of this project against current land use regulations.

Analysis

General Plan: The proposal as it is currently drawn does not conform with the Western Weber General Plan (WWGP, 2022) by failing to dedicate the appropriate right-of-way to 900 South Street and by failing to show accommodations for an east-west right-of-way.

Zoning: The property is within the M-3 Zone. The purpose of this zone is stated in the LUC §104-21-1 (d).

“The purpose of the Manufacturing M-3 Zone is to provide for industrial uses related to the manufacturing, testing, and production of jet and missile engines, aircraft or spacecraft parts or similar heavy industry, and for the extraction and processing of raw materials. Industrial operations or uses, which are compatible with the general purpose of this zone, are included in this purpose.”

Small Subdivision: “The Planning Director is delegated administrative authority to approve small subdivisions if there are no conditions which warrant its submittal to the planning commission, LUC §101-2-20 Su Definitions.” This proposal qualifies as a small subdivision consisting of nine or fewer lots.

Remainder Parcel: Weber County Land Use Code, Section 106-2-4.010 (f), regarding remainder parcels is implemented following the state code. The regulation is meant to prohibit remainder parcels that do not qualify as agricultural parcels, and requires that remainder parcels that do not qualify as agricultural parcel shall be included with the subdivision plat.

Block Length: Section 106-2-3 Blocks, places standards on subdivision street design for the formation of blocks that shall be a maximum of 1,300 feet, and a minimum of 500 feet from the nearest intersection. The total length of the planned 9175 West Street that terminates at a cul-de-sac, is 745 feet, which happens to fall within the range necessary for the formation of a block. In order for the plan to satisfy this section, an intersection in an east-west direction should be depicted on the plan.

Building setbacks from Future ROW: The required building setback from the right-of-way edge of 900 South shall be measured from the future right-of-way width of 132 feet as required by Section 108-7-10. This same method for establishing setbacks from future right-of-way widths should be used for the frontage road running in an east-west direction.

Right of Way Opportunities: County Planning and Engineering believes that this area could be an ideal location for a local commerce street southward connecting with a future frontage road running in an east-west direction. A local business commerce street would provide permanent access to further development while limiting the number of access/exit points onto a high-speed industrial collector road (900 South). The Weber County Planning Division and Engineering Department have explored opportunities for a public road extending southward. The current road design that is intended to terminate 745 feet south of the existing 900 South Street has the potential to form a three-way intersection where it would form a T intersection that could then continue in an east-west direction, thereby creating a frontage road for future commerce parallel to 900 South Street and the Southern Pacific Rail Line.

Traffic Study: The traffic study for this proposal has been conducted based on the “full buildout ” of the six-lot subdivision that is anticipated to generate approximately 720 weekday daily trips, including 96 in the morning peak hour, and 98 trips in the evening peak hour. Based on the buildout, a westbound left-turn deceleration lane is recommended at the 9175 West/900 South Intersection. “This is not anticipated to be needed until approximately 65,000 SF of industrial space, at which time the lane could be accommodated by the planned widening of 900 South to a 3-lane cross section.”

Geotechnical Report: AGECE has provided Pavement Sections designed for a 10 semi-load and delivery trucks per day. The recommendations for pavement are found on page two of the report with the project number 1210119. The geotechnical investigation was done by AGECE for industrial building preparations related to foundations, subgrade preparation, pavement design, and materials.

Sensitive Lands: The National Wetlands Inventory indicates the presence of Freshwater Pond Habitat and Freshwater Emergent Wetland Habitat. At the County Engineer’s preference, a wetlands study must be conducted. The findings from the wetland study will be helpful in identifying the location of wetlands and will help determine the location of an east-west minor commerce street that would not disrupt the wetlands. The future commerce street may be better suited at a location north of where the road terminates.

Culinary and Secondary water: This property is within the Warren West-Warren District boundary. The District will be able to serve these six lots after the District conditions are met.

1. The property must be annexed into the District, and
2. The County’s Restrictive Landscape Covenant is recorded on title and shall run with the land, and
3. The owner contractor will need to furnish all materials and labor for the water service line, and
4. The owner will need to pay impact fees and all other district connection fees.

Sanitary System: The Little Mountain Sewer District will serve the sanitary needs of the Little Mountain Industrial Park Subdivision (see Exhibit C). The effluent from the proposal must be directed and treated by the District after meeting all of the District requirements.

Review Agencies: The Weber County Fire District has posted a request for more information regarding fire hydrant locations, turnaround, and fire flow for the fire suppression systems. Fire Department approval is contingent upon the access road providing a minimum of 32 feet of unobstructed drivable surface. This width is required to accommodate both on-street parking and maintain adequate emergency vehicle access at all times.

The County Engineering has reviewed this proposal and found several corrections and additions that should be made, all of which have been addressed. See attachment F:

The County Surveyor review highlights many corrections that need to be made to the subdivision plat before this proposal may be signed by them. Further review from them has been postponed until comments from the Planning Division can be addressed. Implementation of planning comments will alter the subdivision boundary and the description.

The remaining comments from the County Planning Staff are listed in the staff recommendation.

Staff Recommendation

Staff recommends that final approval of the Little Mountain Industrial Park Subdivision be tabled. This recommendation is based on the following conditions:

1. The subdivision plan shall include an easement for a Future Public Right-of-Way in an east-west direction with minimum building setbacks shown on the subdivision plat and the civil design plan. *This comment is made by the planning staff so that the subdivision plan would comply with the planned street alignments of the general plan. This comment has not been addressed.*
2. Section 106-2-3 Blocks, states that the maximum length of blocks generally shall be 1,300 feet and the minimum block length of 500 feet. Placing an east-west intersection at the end of 9175 West will satisfy this requirement. *The applicant believes this requirement is satisfied with a cul-de-sac at 745 feet.*
3. Parcel number 10-041-0030 shall be included with the subdivision plan to conform with Section 106-2-4.010 (f) Remnant Parcels. *This requirement remains outstanding. The parcel cannot be considered an agricultural parcel and should thereby be included with the subdivision.*
4. The owner shall enter into a deferral agreement for the curb, gutter, and sidewalk for 9175 West Street and East-West Street. *The applicant states that the curb, gutter, and sidewalk are included in the civil design with curb, gutter, and a ten-foot gravel walking path. The cross-section does not indicate the ten walking path.*
5. The civil plans and subdivision plat shall implement recommendations from the County Engineer and the Planning Division.
6. A Will-Serve Letter from Warren-West Warren Water District shall be provided before the subdivision plat is recorded.
7. Approval from the Weber Fire District for the planned asphalt width of 9175 West Street shall be obtained. *The Fire District approval is contingent upon the access road providing a minimum of 32 feet of unobstructed drivable surface.*
8. Minimum setbacks for all structures shall be measured from the future ROW line, which applies to 900 South, 9175 West, and the east-west right-of-way. *A note regarding this is on the subdivision plat, however the note does not mention 9175 West Street or the planned east-west ROW.*
9. Proof of completed water and sewer connections must be included with the Building Permit application.
10. A Restrictive Landscape Covenant shall be recorded with the final plat.

The following findings are the basis for the staff's recommendation:

1. The proposed subdivision does not conform to the Western Weber General Plan.
2. The proposed subdivision does not comply with the applicable county codes.
3. A wetlands study is not complete
4. The Weber Fire District requirement for at-least 32 feet of asphalt is not depicted on the plan.

Exhibits

- A. Little Mountain Industrial Park Subdivision Plat
- B. Current Recorders Plat
- C. Sewer Will-Serve Letter
- D. Culinary Water Will-Serve Letter
- E. Civil Design Plan
- F. Applicant Responses

Area Map

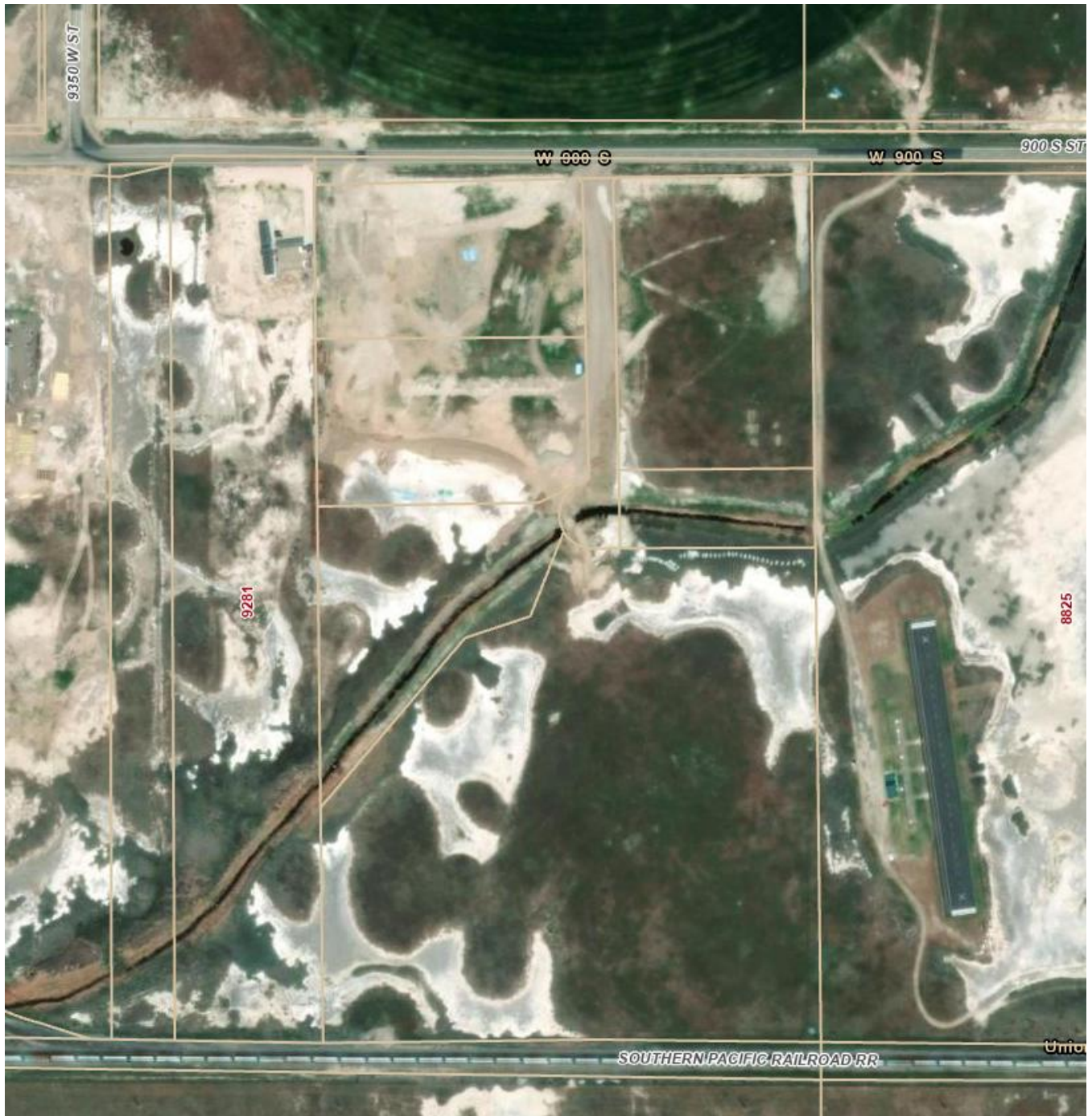


Exhibit A

See next page

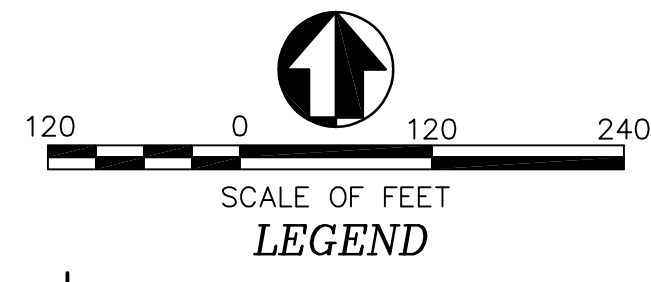
LITTLE MOUNTAIN INDUSTRIAL PARK SUBDIVISION
WEST WARREN, WEBER COUNTY, UTAH
 LYING AND SITUATE IN THE NORTHEAST QUARTER OF SECTION 20,
 TOWNSHIP 6 NORTH, RANGE 3 WEST, SALT LAKE BASE AND MERIDIAN
 MULTIPLE SURVEYS PERFORMED: MAY 2012, DEC. 2019, MAR. 2022, JUNE 2023,
 and AUG. 2025

Note: Traffic study and roadway improvements have been prepared based on a sum total maximum industrial building size of 200,000 square feet for the lots in this subdivision. In the event that more or larger buildings are proposed, an update to the traffic study will be required and additional roadway improvements may be needed.

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	23.73'	15.00'	89°16'40"
C2	160.05'	60.00'	152°50'09"
C3	29.94'	25.00'	68°36'38"
C4	23.75'	15.00'	90°43'20"
C5	80.02'	60.00'	76°25'05"
C6	80.02'	60.00'	76°25'05"

LINE TABLE		
LINE	LENGTH	BEARING
L1	50.39'	S89°52'15"W
L2	47.82'	N89°52'15"W
L3	48.19'	N89°52'15"W
L4	27.00'	N89°08'55"W
L5	105.75'	S66°32'45"W
L6	66.00'	N89°08'55"W

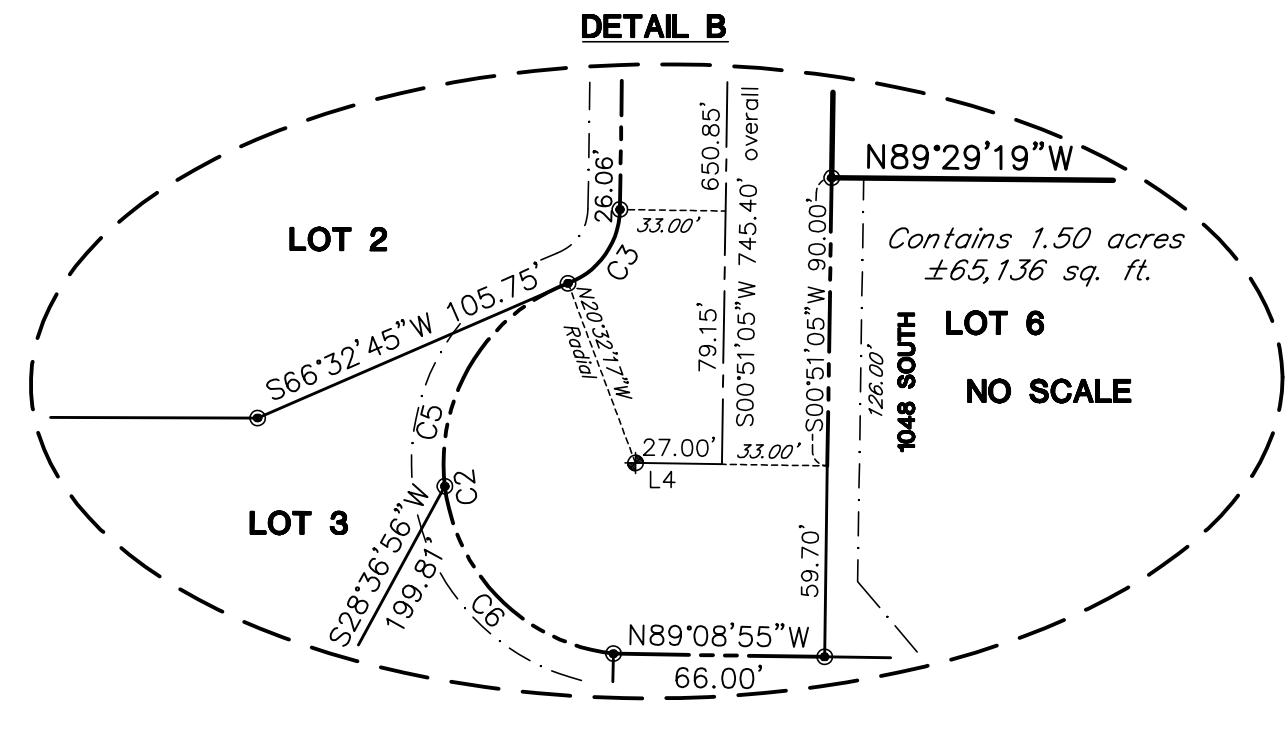
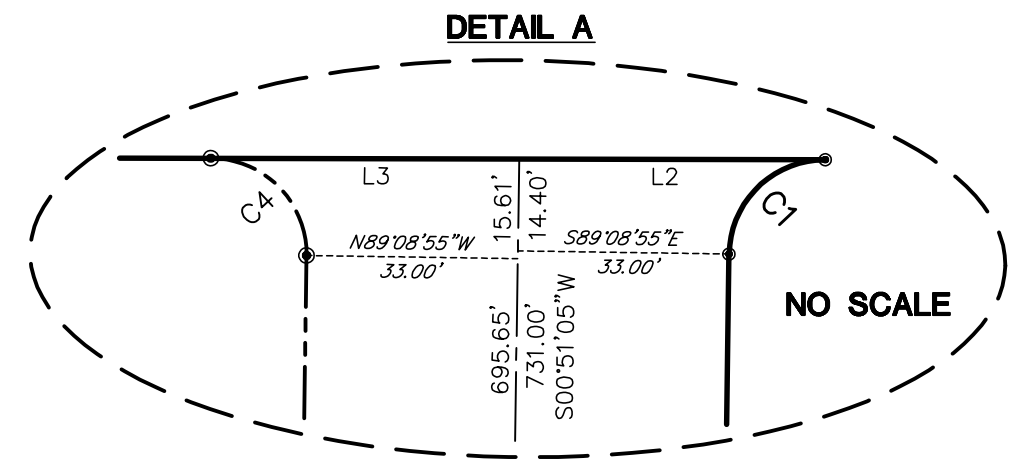
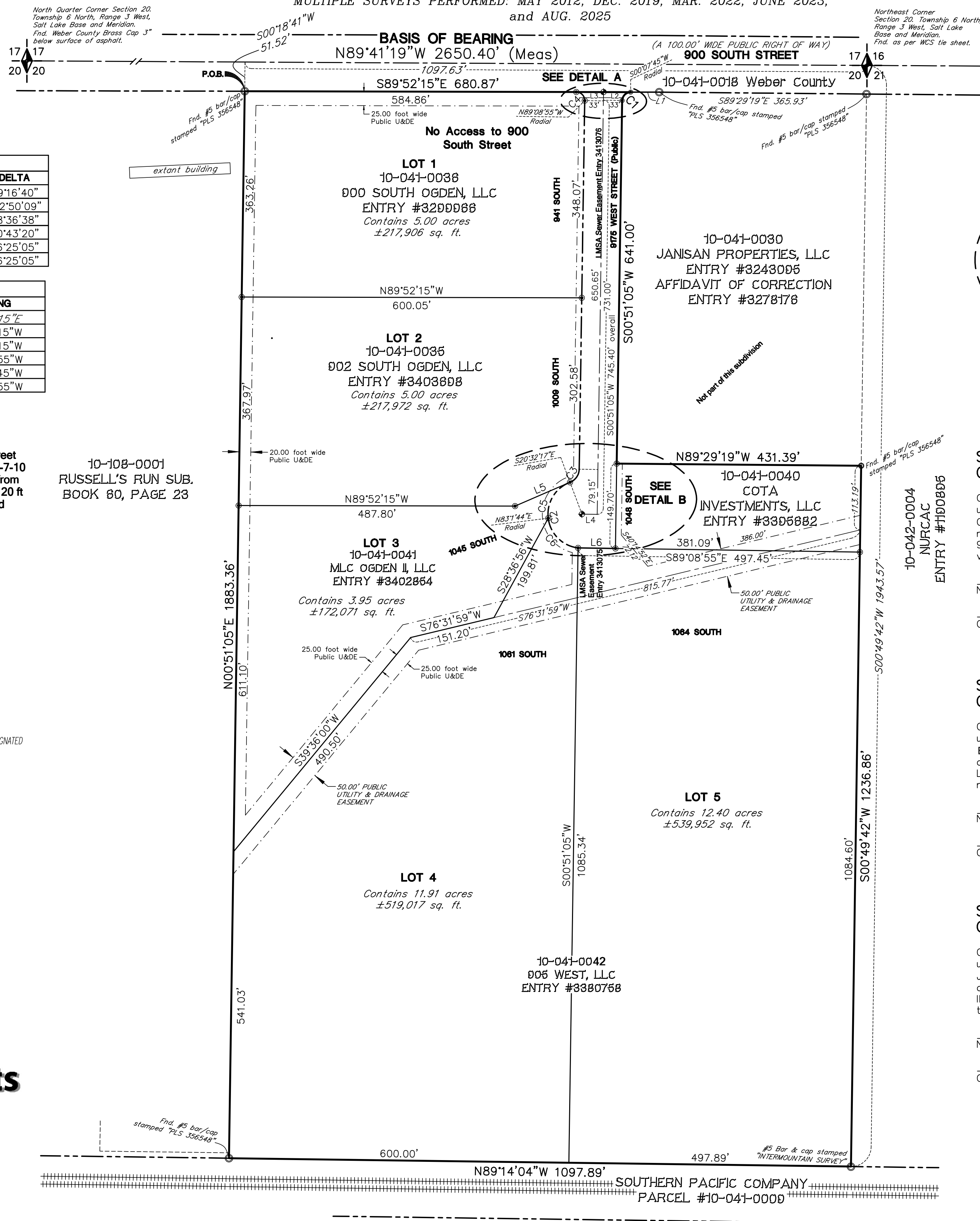
NOTE:
 County master planned Right of Way for 900 South Street is 66 feet south of the section line. County code Sec 108-7-10 requires that building setbacks for Lot 1 be measured from that future ROW line. Code Sec 104-21-5 (c) identifies 20 ft side yard setback for corner lot in M3 zone which would apply to the north line of Lot 1.



28 = SECTION CORNER & SECTION LINE
 33 = BOUNDARY, SET #5 REBAR & CAP STAMPED "PLS 356548"
 = EXTANT RIGHT OF WAY LINES
 = 10.00 FOOT PUBLIC UTILITY & DRAINAGE EASEMENT OR AS DESIGNATED
 = RECORD PARCEL LINE
 = ADJOINING PARCEL LINES
 = DIMENSION LINES
 ROS # = RECORD OF SURVEY #/FILE NUMBER
 BLA = BOUNDARY LINE AGREEMENT
 POB = POINT OF BEGINNING
 WCS = WEBER COUNTY SURVEYOR
 MEAS. = MEASURED
 CALC. = CALCULATED
 U&DE = UTILITY & DRAINAGE EASEMENT

PLAT NOTES:
 "Due to the topography and the location of this subdivision all owners will accept responsibility for any storm water runoff from the road adjacent to this property until curb and gutter is installed."

PREPARED BY:
Boundary Consultants
 Professional Land Surveyors
 5554 West 2425 North, Hooper, Utah
 801-792-1569
 dave@boundaryconsultants.biz
FOR:
 RLSS LLC
 700 South 6150 West
 Ogden, Utah 84404



ACKNOWLEDGMENT
 STATE OF UTAH } S.S.
 COUNTY OF WEBER }
 On the _____ day of _____, 2026, personally appeared before me, the undersigned Notary, in and for said County of Weber, in said State of Utah, Christopher C. Larson the signer of the above Owner's Dedication, one (1) in number, who duly acknowledged to me that he is the authorized signatory for 900 SOUTH, LLC and 902 SOUTH, LLC and that he signed it freely and voluntarily for the purposes therein mentioned.

Notary Public _____ My Commission Expires _____
 Commission Number _____

ACKNOWLEDGMENT
 STATE OF UTAH } S.S.
 COUNTY OF WEBER }
 On the _____ day of _____, 2026, personally appeared before me, the undersigned Notary, in and for said County of Weber, in said State of Utah, Ben Powell the signer of the above Owner's Dedication, one (1) in number, who duly acknowledged to me that he is the authorized signatory for MLC OGDEN II, LLC and that he signed it freely and voluntarily for the purposes therein mentioned.

Notary Public _____ My Commission Expires _____
 Commission Number _____

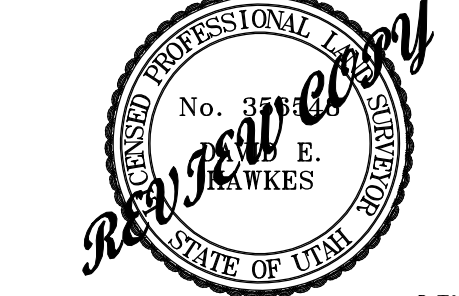
ACKNOWLEDGMENT
 STATE OF UTAH } S.S.
 COUNTY OF WEBER }
 On the _____ day of _____, 2026, personally appeared before me, the undersigned Notary, in and for said County of Weber, in said State of Utah, Jose Cota the signer of the above Owner's Dedication, one (1) in number, who duly acknowledged to me that he is the authorized signatory for COTA INVESTMENTS, LLC and that he signed it freely and voluntarily for the purposes therein mentioned.

Notary Public _____ My Commission Expires _____
 Commission Number _____

SURVEYORS CERTIFICATE
 I, David E. Hawkes, certify that I am a Professional Land Surveyor holding license number 356548 in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Licensing Act and that a survey of the described tract of land has been completed in accordance with Section 17-23-17 and that I have verified all measurements as shown, and have or will set all monuments as depicted hereon.

NARRATIVE
BOUNDARY DESCRIPTION
 A parcel of land lying and situate in the East Half of the Northeast Quarter, of Section 20, Township 6 North, Range 3 West, Salt Lake Base and Meridian. Basis of Bearing for Subject Parcel being North 89°41'19" West 2650.40 feet, measured, between the Weber County brass cap monuments monumenting the north line of the Northeast Quarter of said Section 20. Subject Parcel being more particularly described as follows:

Commencing at the Northeast Corner of said Section 20, thence North 89°41'19" West 1097.63 feet; Thence South 00°18'41" West 51.52 feet to a point on the south right of way of 900 South Street and the True Point of Beginning; Thence South 89°52'15" East 680.87 feet coincident with said south right of way to a number five rebar and cap stamped "PLS 356548"; Thence departing said right of way southerly 23.73 feet along the arc of a 15.00 foot radius curve to the left (center bears South 00°07'45" West) through a central angle of 89°16'40" to a point of tangency and a number five rebar and cap stamped "PLS 356548"; Thence the following two (2) courses coincident with the west and south boundaries of that particular parcel of land described in that certain Warranty Deed recorded as Entry 3243095 of the Weber County Records and corrected in that certain Surveyor's Affidavit of Correction filed as Entry 3278176 of the Weber County Records, 1) South 00°51'05" West 641.00 feet to a number five rebar and cap stamped "PLS 356548"; 2) South 89°29'19" East 431.39 feet to a number five rebar and cap stamped "PLS 356548"; Thence South 00°49'42" West 1236.86 feet to a number five rebar and cap stamped "INTERMOUNTAIN SURVEY" and a point on the north right of way of the Southern Pacific Railroad Right of Way. Thence North 89°14'04" West 1097.89 feet coincident with said right of way to a number five rebar and cap stamped "PLS 356548"; Thence North 00°51'05" East 1883.36 feet to the point of beginning. Contains 41.10 acres, ±1,790,285 sq. ft., 6 Lots, and a Public Road



OWNERS DEDICATION
 Known all men by these presents that we, the undersigned owners of the above described tract of land having caused the same to be subdivided into streets and lots as shown on this plat and name said tract LITTLE MOUNTAIN INDUSTRIAL PARK SUBDIVISION, and hereby dedicate to the public 1975 West Street as a Public Roadway and hereby grant and dedicate to Weber County those certain strips as easements for public utility and drainage purposes as shown hereon, with no buildings or structures being erected within such easements.

Signed this _____ day of _____, 2026.
 900 SOUTH OGDEN, LLC, a Colorado Limited Liability Company
 By: Christopher C. Larson, General Manager
 902 SOUTH OGDEN, LLC, a Colorado Limited Liability Company
 By: Christopher C. Larson, General Manager
 MLC OGDEN II, LLC
 By: Ben Powell, it's Manager
 COTA INVESTMENTS, LLC
 By: Jose Cota, it's Manager
 905 WEST, LLC, a Utah Limited Liability Company
 By: Rob Howard, its Manager
 9175 WEST, LLC, a Utah Limited Liability Company
 By: Rob Howard, its Manager

ACKNOWLEDGMENT
 STATE OF UTAH } S.S.
 COUNTY OF WEBER }
 On the _____ day of _____, 2026, personally appeared before me, the undersigned Notary, in and for said County of Weber, in said State of Utah, Rob Howard the signer of the above Owner's Dedication, one (1) in number, who duly acknowledged to me that he is the authorized signatory for 905 WEST, LLC, and 9175 WEST, LLC and that he signed it freely and voluntarily for the purposes therein mentioned.

Notary Public _____ My Commission Expires _____
 Commission Number _____

LITTLE MOUNTAIN SERVICES DISTRICT
 Little Mountain Services District hereby approves this plat.
 This _____ day of _____, 2026.

 Little Mountain Services District

WEBER COUNTY RECORDER
 ENTRY NUMBER _____
 FEE PAID _____
 FILED FOR RECORD AND RECORDED THIS _____
 DAY OF _____, 2026, IN BOOK _____, AT PAGE _____ OF THE OFFICIAL RECORDS.
 DEPUTY COUNTY RECORDER _____

WEBER COUNTY ATTORNEY
 I have examined the financial guarantee and other documents associated with this subdivision plat and in my opinion they conform with the County Ordinance applicable thereto and now in force and affect.
 Signed this _____ day of _____, 2026.

 Signature

COUNTY SURVEYOR'S CERTIFICATE
 I hereby certify that the Weber County Surveyor's Office has reviewed this plat and all conditions for approval by this office have been satisfied. The approval of this plat by the Weber County Surveyor does not relieve the Licensed Land Surveyor who execute this plat from the responsibilities and/or liabilities associated therewith.
 Signed this _____ day of _____, 2026.

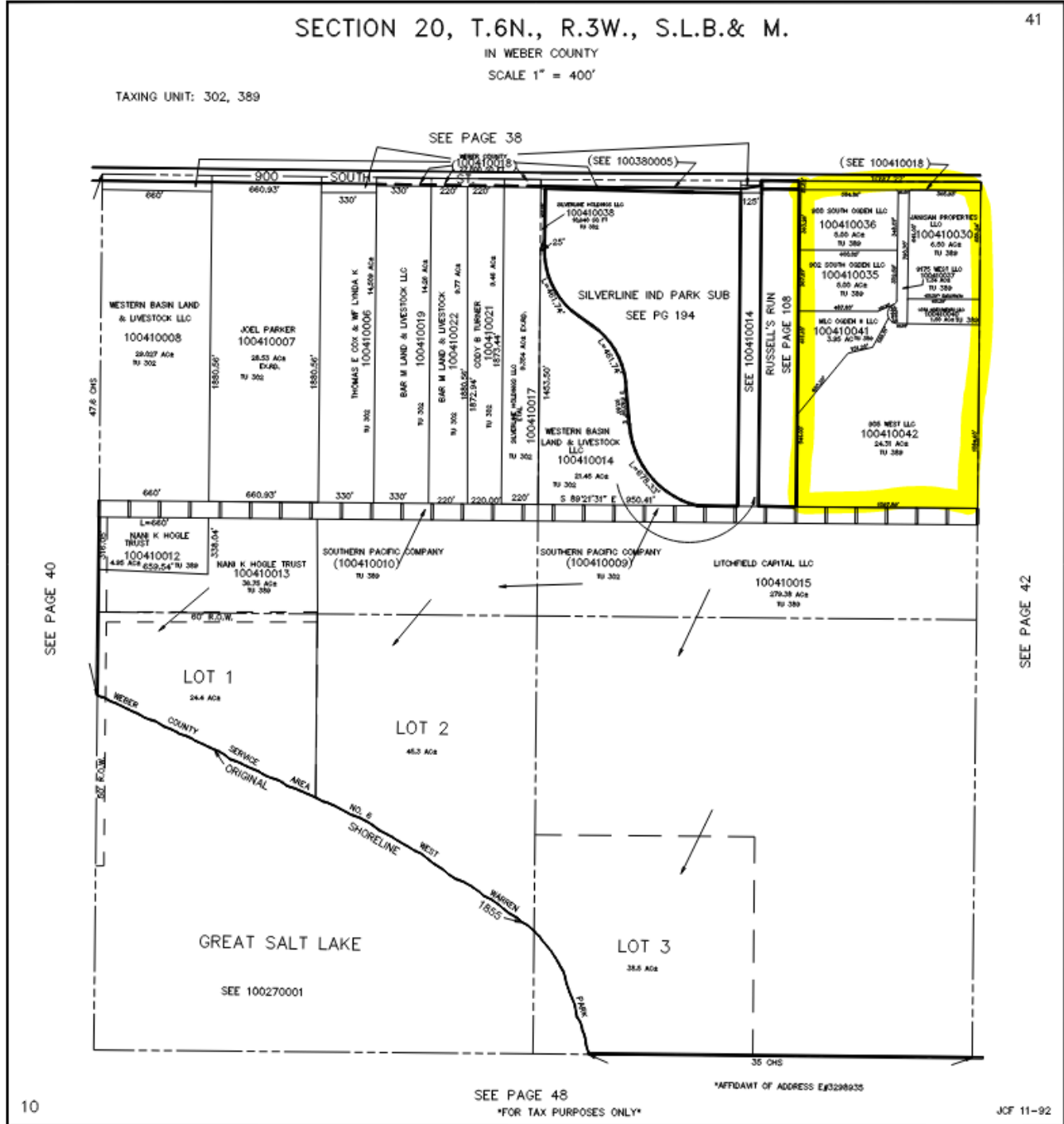
 Signature

WEBER COUNTY ENGINEER
 I hereby certify that the required public improvement standards and drawings for this subdivision conform with County standards and the amount of the financial guarantee is sufficient for the installation of these improvements.
 Signed this _____ day of _____, 2026.

 Signature

WEBER COUNTY PLANNING DIRECTOR APPROVAL
 This is to certify that this subdivision plat was duly approved by the Weber County Planning Director on the _____ day of _____, 2026.

 Weber County Planning Director





February 26, 2026
Weber County Planning Division

RE: Subdivision Will-Serve Letter for Parcels 100410030, 100410035, 100410036, 100410040, 100410041, and 100410042

Dear Weber County Planning Division,

Pursuant to Utah Code Annotated § 17-27a-603 and the applicable Weber County development code requirements, Little Mountain Service Area (LMSA), as the recognized sanitary sewer authority, provides the following **will-serve statement of feasibility** for the proposed subdivision including the properties identified as Parcels **100410030, 100410035, 100410036, 100410040, 100410041, and 100410042**:

1. **Availability of Services:**
 - o Wastewater lagoon service availability is contingent on the existing system capacity at the time of connection application.
 - o Conveyance service availability is subject to the system's current capability and authority at the time of application.
2. **Future Needs:**
 - o Any future need for additional capacity or conveyance capability will require submission of a new application and completion of the review process.
3. **Petitioner Responsibilities:**
 - o The petitioner is responsible for all associated user and connection fees.
 - o Costs for design, construction, maintenance, and permitting of lateral lines to connect to the LMSA wastewater treatment and/or conveyance system are the petitioner's responsibility.
 - o All wastewater treatment and/or conveyance activities, design, and construction must comply with applicable federal, state, and local regulations, as well as LMSA's policies and design standards.
4. **Request for Connection Application and Fees:**
 - o Before any physical connection to the LMSA system, a Request for Connection application must be submitted and approved.
 - o All applicable connection fees must be paid in full before proceeding with construction or tie-in to the system.
5. **Service Agreement and Fee Structure:**
 - o Prior to connecting to the LMSA system, an approved service agreement must be in place.

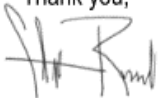
Little Mountain Service Area
PO Box 12025
Ogden, UT 84412

- A fee structure outlining all costs, including connection fees, user rates, and any other applicable charges, will be established and agreed upon before service activation.
6. **Connection Application Review Process:**
- Applications are reviewed monthly during the LMSA Board Meeting.
7. **Connection Application Fee:**
- A non-refundable application fee of \$300.00 is due upon submission.
 - Please make checks payable to Little Mountain Service Area.

This Will-Serve Letter is valid for a period of twelve (12) months from the date of issuance and is contingent upon compliance with all applicable requirements and regulations. Failure to adhere to these conditions may result in revocation of service availability.

This will-serve determination is conditioned upon compliance with the above requirements and does not constitute final subdivision approval. Any material changes to the subdivision design or lot configuration may require further review and confirmation of capacity.

Thank you,



Stephanie Russell, LMSA Board and Project Manager
srussell@sagedevelopmentgroup.com
404.434.6746

Little Mountain Service Area
PO Box 12025
Ogden, UT 84412

Exhibit D

West Warren-Warren Water Improvement District
1561 S. 7500 W.
Ogden, UT 84404
801-259-7614
westwarrentwtr@gmail.com

April 17, 2025

To Whom it May Concern:

RE: WATER AVAILABILITY LETTER FOR Little Mountain Industrial Development

This proposed development and parcels are as follows:

<u>Parcel Number</u>	<u>Owner</u>	<u>Lot</u>	<u>Estimated Address (not yet assigned)</u>
100410036	900 South Ogden, LLC	Lot 1	933 South 9175 West
100410035	902 South Ogden, LLC	Lot 2	985 South 9175 West
100410041	903 West, LLC	Lot 3	997 South 9175 West
100410042	905 West, LLC	Lot 4	1039 South 9175 West
100410042	905 West, LLC	Lot 5	1032 South 9175 West
100410040	COTA Investments, LLC	Lot 6	994 South 9175 West

The West Warren-Warren Water Improvement District (hereafter the District) does have culinary water available for this proposed development.

This letter is only to state that the above-mentioned project is in the boundaries of the District and water will only be made available if the following conditions are met. This letter is the first of two letters that will be issued for this development. When these and any necessary additional conditions are met, the District may issue the Will-Serve Letter. The property will not require a secondary water source per an agreement made with Weber County that the property will only be allowed to have xeriscaping instead of traditional landscaping.

Conditions for a Will-Serve Letter to be issued:

- The land must be annexed into the District's taxable boundaries, if not done already.
- A letter from Weber County with the agreement regarding outdoor xeriscaping and secondary water use for this development. Proof of document being recorded at the county recorder's office to stay with the property when it is sold.
- The owner or contractor will need to furnish all materials and labor to run the service line. The District will furnish and place the water meter. All materials and workmanship must be in compliance with and approved by the District.
- The Weber Basin Water Rights Impact Fee of \$10,082.00 per proposed unit of service must be paid prior to receiving a Will-Serve Letter and prior to the commencement of any development or construction as well as \$100.00 fee for water for construction.
- All remaining fees must be paid to the District before culinary water services will be made available. The fees due will be based on the District's fee schedule at the time of payment.

Should you have clerical questions or comments, please contact the district clerk. Please direct questions regarding water systems, materials, etc., to (801-791-7368) Randy Giordano, Chairman of the WWID Board. This letter expires 1 year from the day it is issued.

Sincerely,

Melissa Murray

Melissa Murray, Clerk

Exhibit E

See next pages

LITTLE MOUNTAIN INDUSTRIAL

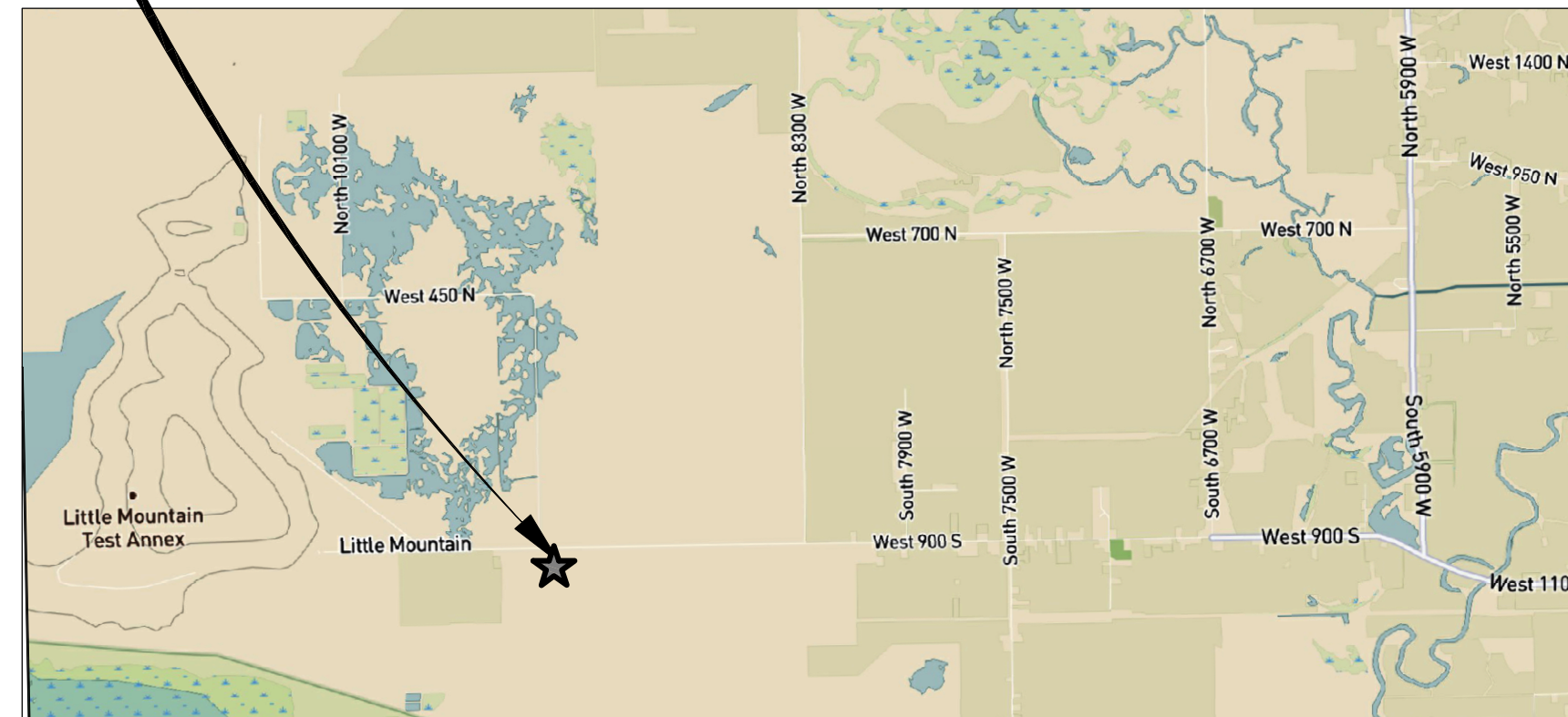
9175 WEST ROAD AND UTILITY DESIGN

WEBER COUNTY, UTAH

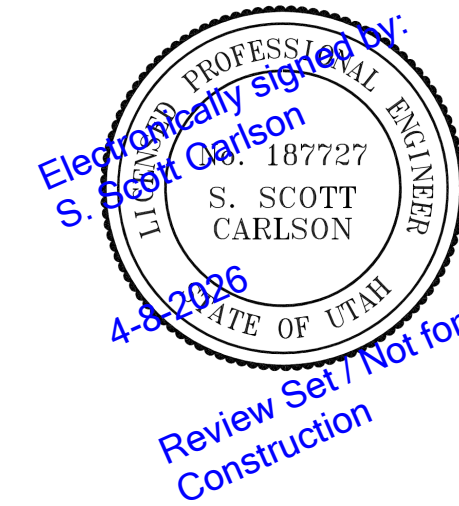


Sheet Index

- Sheet 0 - TITLE SHEET, GENERAL NOTES & SHEET INDEX
- Sheet 1 - EXISTING CONDITIONS
- Sheet 2 - SITE PLAN
- Sheet 3 - STATION 60+00 TO 65+50 PLAN AND PROFILE
- Sheet 4 - STATION 65+50 TO 69+50 PLAN AND PROFILE
- Sheet 5 - DETAILS
- Sheet 6 - 900 SOUTH DECELERATION LANE
- Sheet 7 - 900 SOUTH STRIPING PLAN



Vicinity Maps



STANDARD NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO CITY/COUNTY STANDARDS AND TO APPLICABLE UTILITY DISTRICT STANDARDS.
2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES, WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE. FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY/COUNTY/DISTRICT ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY/COUNTY/DISTRICT ENGINEER. SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE PROJECT DESIGN ENGINEER BEFORE PROCEEDING WITH THE WORK IN QUESTION.
5. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
6. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
7. ALL CITY/COUNTY/DISTRICT MAINTAINED UTILITIES INCLUDING: WATERLINE, FIRE HYDRANTS, STREETLIGHT WIRING, AND STORM DRAIN MUST BE IN PUBLIC RIGHT OF WAY OR RECORDED IN EASEMENTS.
8. CONTRACTOR TO FOLLOW CITY/COUNTY/DISTRICT NOISE ORDINANCE STANDARDS.
9. THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTORS OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
10. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.
11. ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER AND APPROVED BY THE CITY/COUNTY/DISTRICT ENGINEER, AND AS SHOWN ON THESE PLANS.
12. EXACT LOCATION OF ALL SAWCUT LINES MAY BE ADJUSTED OR DETERMINED IN THE FIELD BY A CITY/COUNTY/DISTRICT ENGINEER IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATION.
13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEYING MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS AT THE COUNTY SURVEYORS OFFICE.
14. UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC., SHALL BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APRONS, FLOWLINES, AND CROSS GUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND THE CITY/COUNTY/DISTRICT ENGINEER.
15. ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVIEWING GRADING RELATIONSHIPS; FLOOD CONTROL AND SIGHT DISTANCE AT INTERSECTIONS. ALL WALLS SHALL HAVE A MINIMUM 2 FT X 2 FT X 30 INCH DEEP SPOT FOOTINGS. BOTTOM OF ALL FOOTINGS ON ALL WALLS SHALL BE A MINIMUM OF 30 INCHES BELOW FINISHED GRADE. WALLS GREATER THAN 6 FEET REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
16. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY/COUNTY/UDOT ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY/COUNTY/STATE RIGHT OF WAY.
17. CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
18. APPLICATION FOR INSPECTION BY THE CITY/COUNTY/DISTRICT ENGINEERING DEPT. SHALL BE MADE BY THE CONTRACTOR AT LEAST 48 HOURS BEFORE THE INSPECTION SERVICES WILL BE REQUIRED.
19. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
20. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION.

21. CONTRACTOR TO CONTACT BLUE STAKES FOR MARKING OF EXISTING UTILITIES PRIOR TO PERFORMING ANY EXCAVATION.
22. AFFECTED UTILITY COMPANIES SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
23. EXISTING UTILITIES ARE LOCATED ON PLANS FOR THE CONVENIENCE OF THE CONTRACTORS ONLY. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE PROTECTION OF UTILITIES AND THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN ON THE PLANS OR NOT IN THE LOCATION SHOWN ON THE PLANS. THIS INCLUDES ALL SERVICE LATERALS OF ANY KIND.
24. POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO THE CITY/COUNTY/DISTRICT. POWER POLES ARE TO BE RELOCATED AND BURIED.
25. MODIFICATIONS TO EXISTING UTILITIES SHALL CONFORM TO THE OWNER'S UTILITY STANDARDS AND SPECIFICATIONS.
26. PROTECTION AND REPLACEMENT OF SURVEY MONUMENTS OR PROPERTY STAKES NOT DELINEATED ON THE CONTRACT DRAWINGS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. REPLACEMENT OF SURVEY MONUMENTS OR PROPERTY STAKES SHALL BE DONE TO COUNTY STANDARDS.
27. ALL STATIONING IS REFERENCED TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
28. ASPHALT REPAIRS FOR ANY TRENCHING OF THE EXISTING ROADWAY WILL REQUIRE CONFORMANCE TO THE CITY'S ROAD CUT STANDARDS AND COORDINATION WITH THE PUBLIC WORKS DIRECTOR.

GRADING NOTES

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER AND COUNTY ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON PLANS.
7. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
8. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM THE WATER DEPARTMENT.
9. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
10. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEMS ARE REQUIRED THAT ARE NOT SHOWN ON THESE DRAWINGS, THE DEVELOPER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY/COUNTY/DISTRICT ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.
11. ALL RECOMMENDATIONS MADE BY THE SOILS ENGINEER CONTAINED IN THE GEOTECHNICAL INVESTIGATION SHALL BE REQUIRED AS PART OF THESE CONSTRUCTION PLANS. IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGIC OR SOILS CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE GEOTECHNICAL ENGINEER.

WATER SERVICE

1. ALL WATERLINE CONSTRUCTION SHALL FOLLOW THE STANDARD OF THE WATER COMPANY PROVIDING SERVICE TO THIS PROPERTY.
2. WATER COMPANY SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY PRECONSTRUCTION MEETINGS AND/OR THE COMMENCEMENT OF ANY CONSTRUCTION.
3. THRUST BLOCKS TO BE INSTALLED ON WATER LINE PER APWA / AWWA REQUIREMENTS

SITE OBSERVATIONS BY CIVIL ENGINEER

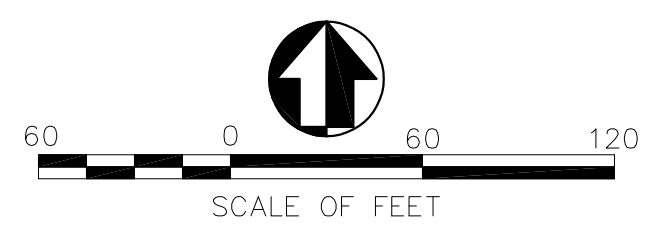
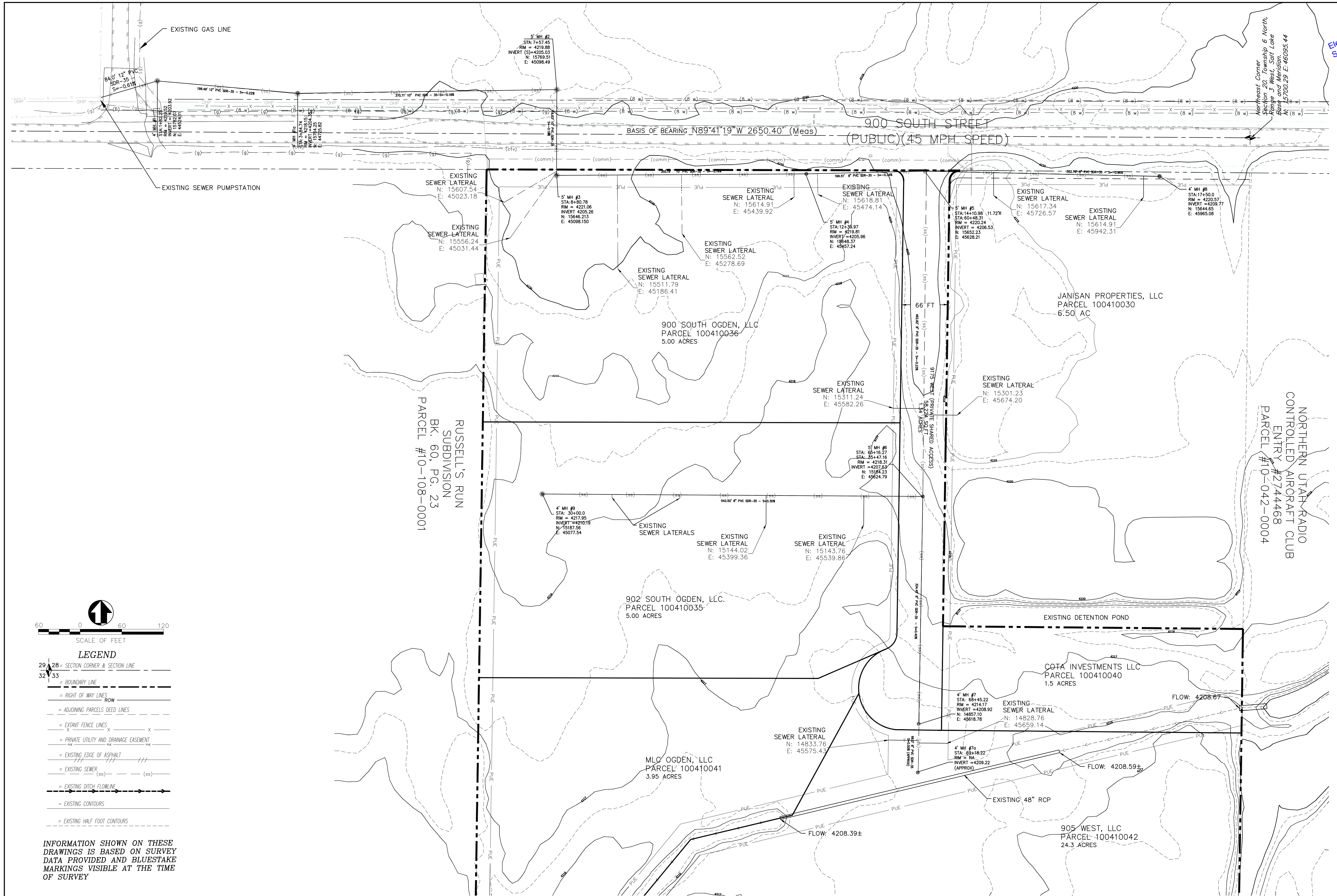
THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN HE HAS REACHED THE CONSTRUCTION STAGE LISTED BELOW AND BEFORE THE WORK TO BE OBSERVED IS COVERED UP OR OTHERWISE BECOMES IN-ACCESSIBLE.

1. PRIOR TO PLACEMENT OF CONCRETE FOOTINGS/FOUNDATION
2. PRIOR TO PLACEMENT OF PAVING AGGREGATE BASE, AND TOPSOIL
3. PRIOR TO PLACEMENT OF PAVING

Boundary Consultants

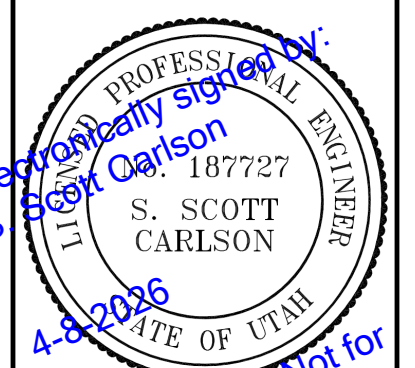
5554 West 2425 North, Hooper, Utah
801-792-1569 dave@boundaryconsultants.biz





- LEGEND**
- 29 28 = SECTION CORNER & SECTION LINE
 - 32 33 = BOUNDARY LINE
 - - - - - = RIGHT OF WAY LINES ROW
 - - - - - = ADJOINING PARCELS DEED LINES
 - - - - - = EXISTANT FENCE LINES
 - - - - - = PRIVATE UTILITY AND DRAINAGE EASEMENT
 - - - - - = EXISTING EDGE OF ASPHALT
 - - - - - = EXISTING SEWER (ss)
 - - - - - = EXISTING DITCH FLOWLINE
 - - - - - = EXISTING CONTOURS
 - - - - - = EXISTING HALF FOOT CONTOURS

INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON SURVEY DATA PROVIDED AND BLUESTAKE MARKINGS VISIBLE AT THE TIME OF SURVEY



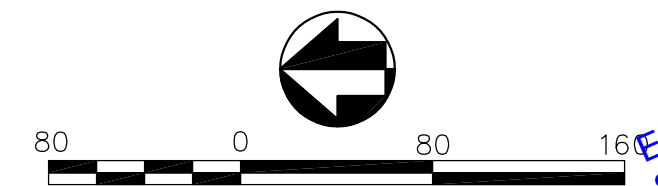
Electronically signed by
S. Scott Carlson
4-8-2026
Review Set / Not for Construction

LITTLE MOUNTAIN INDUSTRIAL
EXISTING CONDITIONS
WEBER COUNTY, UTAH



DWG DATE:	March 2026
PLOT DATE:	18 March 2026
SHEET	1

NORTHERN UTAH RADIO
CONTROLLED AIRCRAFT CLUB
ENTRY #2744468
PARCEL #10-042-0004



LEGEND

- 29 28 = SECTION CORNER & SECTION LINE
- 32 33 = SUBDIVISION BOUNDARY LINE
- = LOT BOUNDARY LINE
- = RIGHT OF WAY LINES
- = EDGE OF PAVEMENT
- = EXISTING DRAINAGE DITCH
- = PRIVATE UTILITY AND DRAINAGE EASEMENT
- = ROAD DEDICATION LINE
- = 10 FT COUNTY ROAD PROTECTION EASEMENT
- = MAJOR CONTOURS
- = MINOR CONTOURS (1 FT)
- = MINOR CONTOURS (0.5 FT)
- = 20' BUILDING SETBACK

NOTE:
EACH LOT MUST DETAIN ITS OWN STORM WATER AND MAY RELEASE AT A RATE OF 0.1 CFS/ACRE

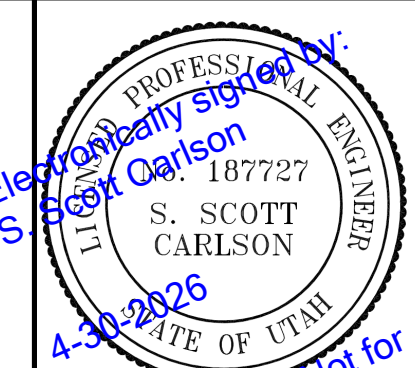
THE 9175 WEST STREET AND CUL-DE-SAC SHOWN HEREON IS DESIGNED TO ACCOMMODATE TURNING MOVEMENTS FOR A WB-67 SEMI TRUCK. VEHICLES LARGER ARE NOT INCLUDED AS DESIGN VEHICLES.

NO SIDE STREET PARKING WILL BE ALLOWED ON 9175 WEST STREET

LOTS 5 AND 6 ARE ALLOWED TO ENLARGE THE DETENTION POND ON THEIR LOT AND SHARE THE INCREASED POND CAPACITY FOR THEIR STORM RUNOFF

STORM WATER PONDS AND SWALES / BERMS ON LOTS ARE SHOWN AS POSSIBLE LOCATIONS. EACH LOT IS REQUIRED TO DESIGN THEIR OWN STORM DETENTION AND SWALES TO FIT THEIR SITE PLAN.

- BERM
- SWALE
- TYPICAL DRAINAGE SWALE COMPRISES A 1 FT DEEP SWALE WITH 3h:1v SIDE SLOPES
- TYPICAL DRAINAGE BERM COMPRISES A 1 FT HIGH BERM WITH 2h:1v SIDE SLOPES



Review Set / Not for Construction

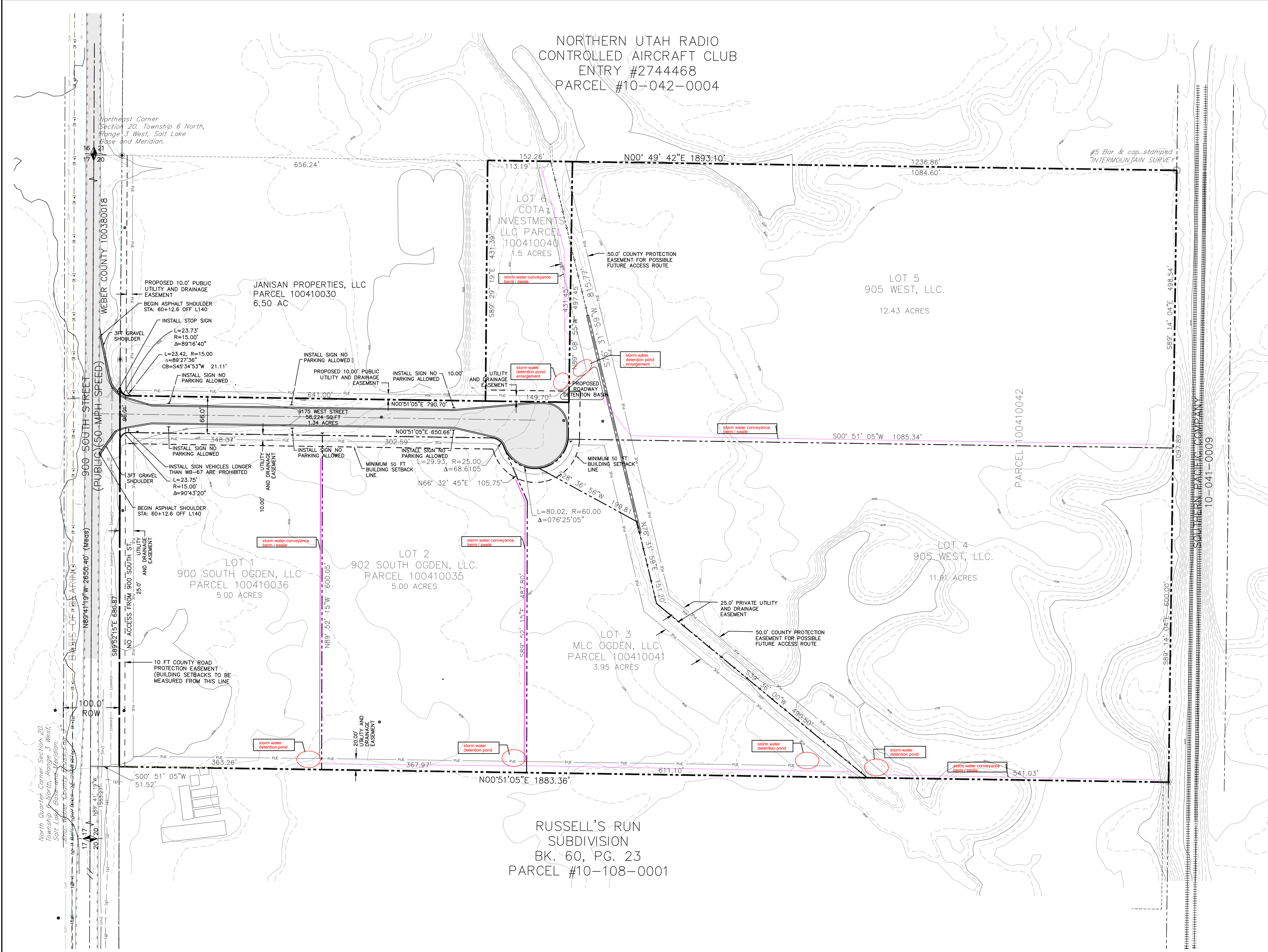
LITTLE MOUNTAIN INDUSTRIAL
SITE PLAN
WEBER COUNTY, UTAH



DWG DATE: March 2026

PLOT DATE: 18 March 2026

SHEET



RUSSELL'S RUN
SUBDIVISION
BK. 60, PG. 23
PARCEL #10-108-0001

North Quarter Corner Section 20, Township 6 North, Range 3 West, Salt Lake Base and Meridian.

Northeast Corner Section 20, Township 6 North, Range 3 West, Salt Lake Base and Meridian.

WEBER COUNTY 100380018

900 SOUTH STREET (PUBLIC 50 MPH SPEED)

900 SOUTH OGDEN, LLC PARCEL 100410036 5.00 ACRES

JANISAN PROPERTIES, LLC PARCEL 100410030 6.50 AC

LOT 6 COTA INVESTMENTS, LLC PARCEL 100410040 1.5 ACRES

LOT 5 905 WEST, LLC. 12.43 ACRES

LOT 2 902 SOUTH OGDEN, LLC. PARCEL 100410035 5.00 ACRES

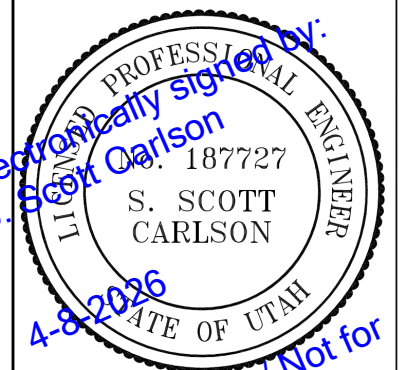
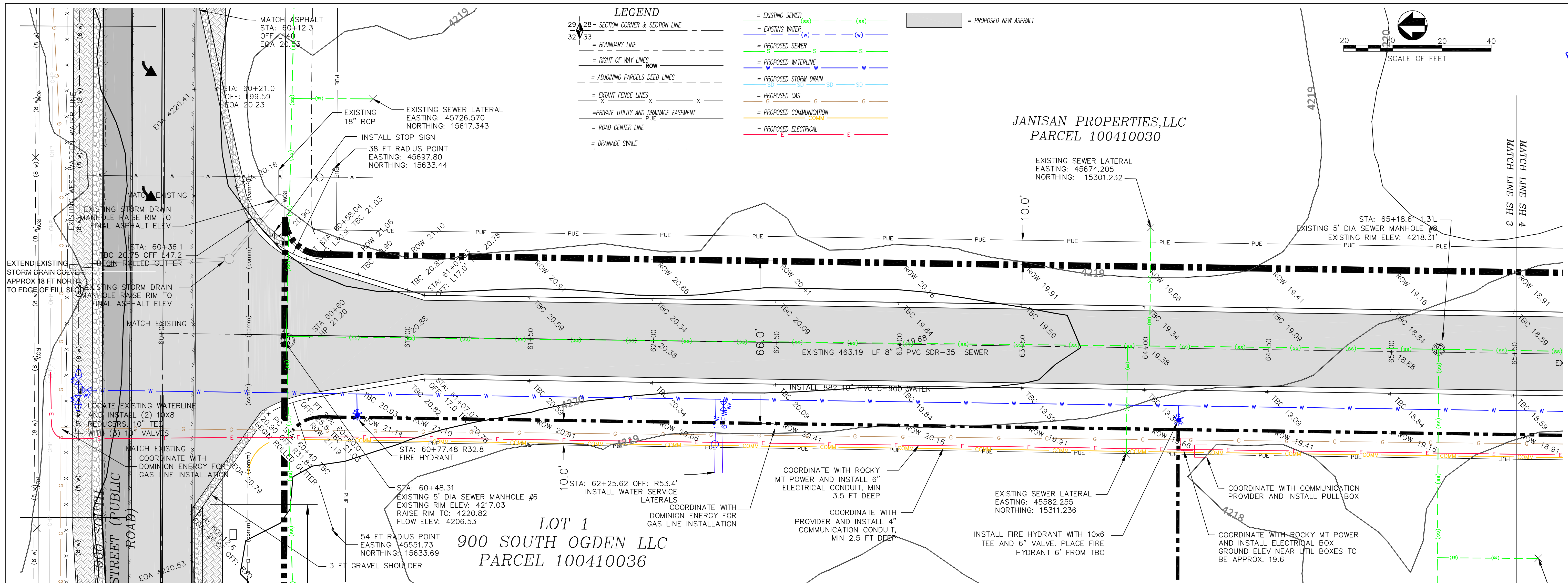
LOT 3 MLC OGDEN, LLC PARCEL 100410041 3.95 ACRES

LOT 4 905 WEST, LLC. 11.81 ACRES

PARCEL 100410042

10-041-0009

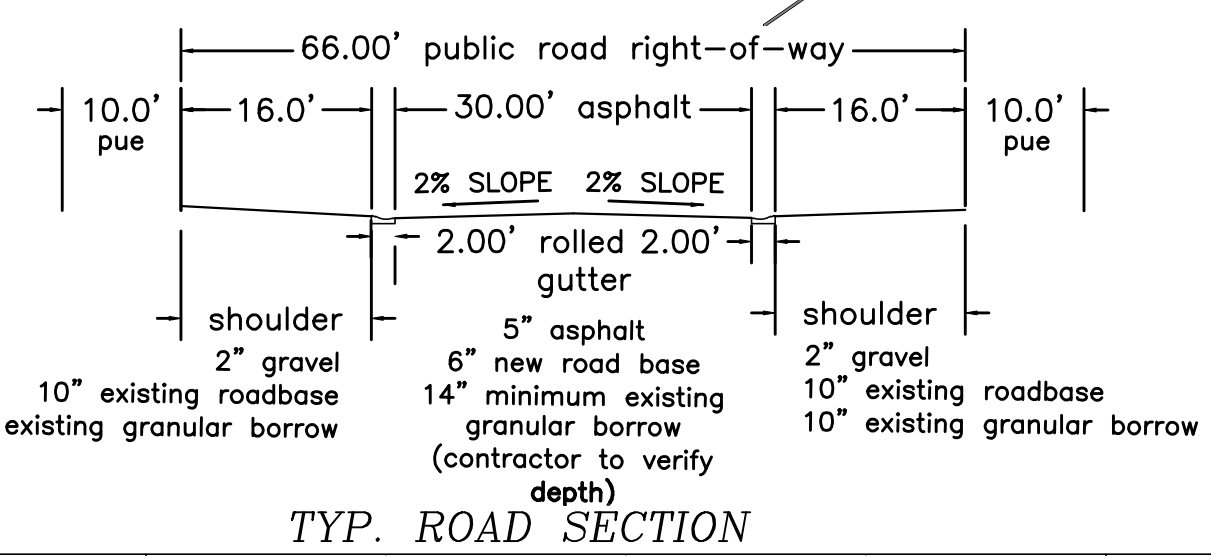
#5 Bar & cap-stamped INTERMOUNTAIN SURVEY



Review Set / Not for Construction

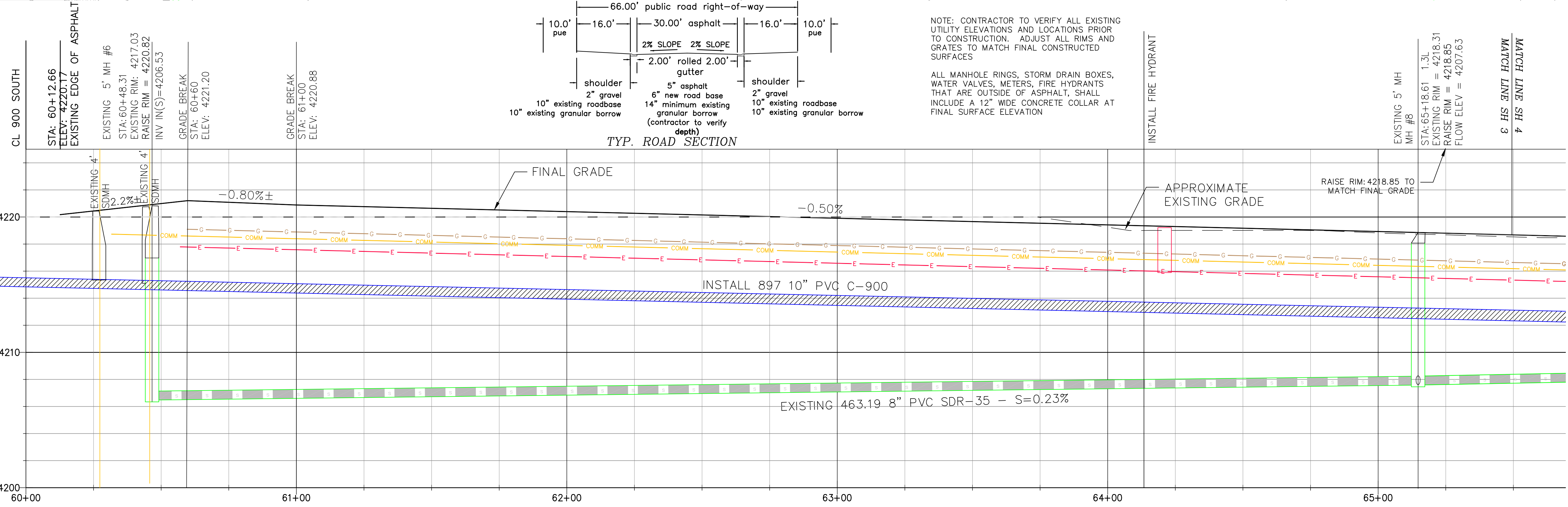
LITTLE MOUNTAIN INDUSTRIAL
 9175 WEST ROAD AND UTILITY DESIGN
 PLAN AND PROFILE STA: 60+00 TO 65+50
 WEBER COUNTY, UTAH

LOT 1
 900 SOUTH OGDEN LLC
 PARCEL 100410036



NOTE: CONTRACTOR TO VERIFY ALL EXISTING UTILITY ELEVATIONS AND LOCATIONS PRIOR TO CONSTRUCTION. ADJUST ALL RIMS AND GRATES TO MATCH FINAL CONSTRUCTED SURFACES

ALL MANHOLE RINGS, STORM DRAIN BOXES, WATER VALVES, METERS, FIRE HYDRANTS THAT ARE OUTSIDE OF ASPHALT, SHALL INCLUDE A 12" WIDE CONCRETE COLLAR AT FINAL SURFACE ELEVATION



TWIN PEAKS
 Engineering & Land Surveying
 2264 NORTH 1450 EAST LEHI, UTAH 84043
 (801) 450-3511

DWG DATE: March 2026
 PLOT DATE: 23 March 2026

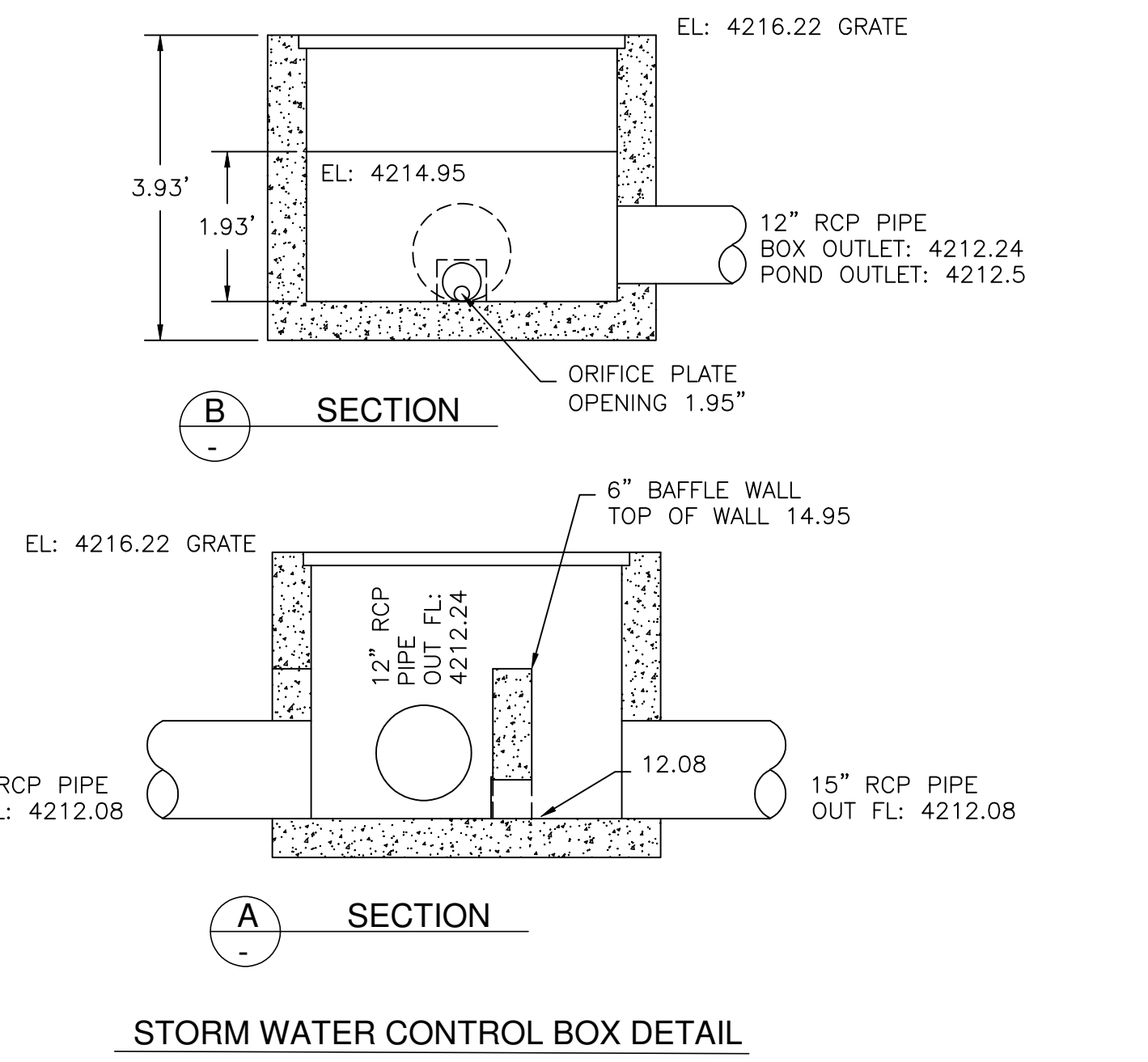
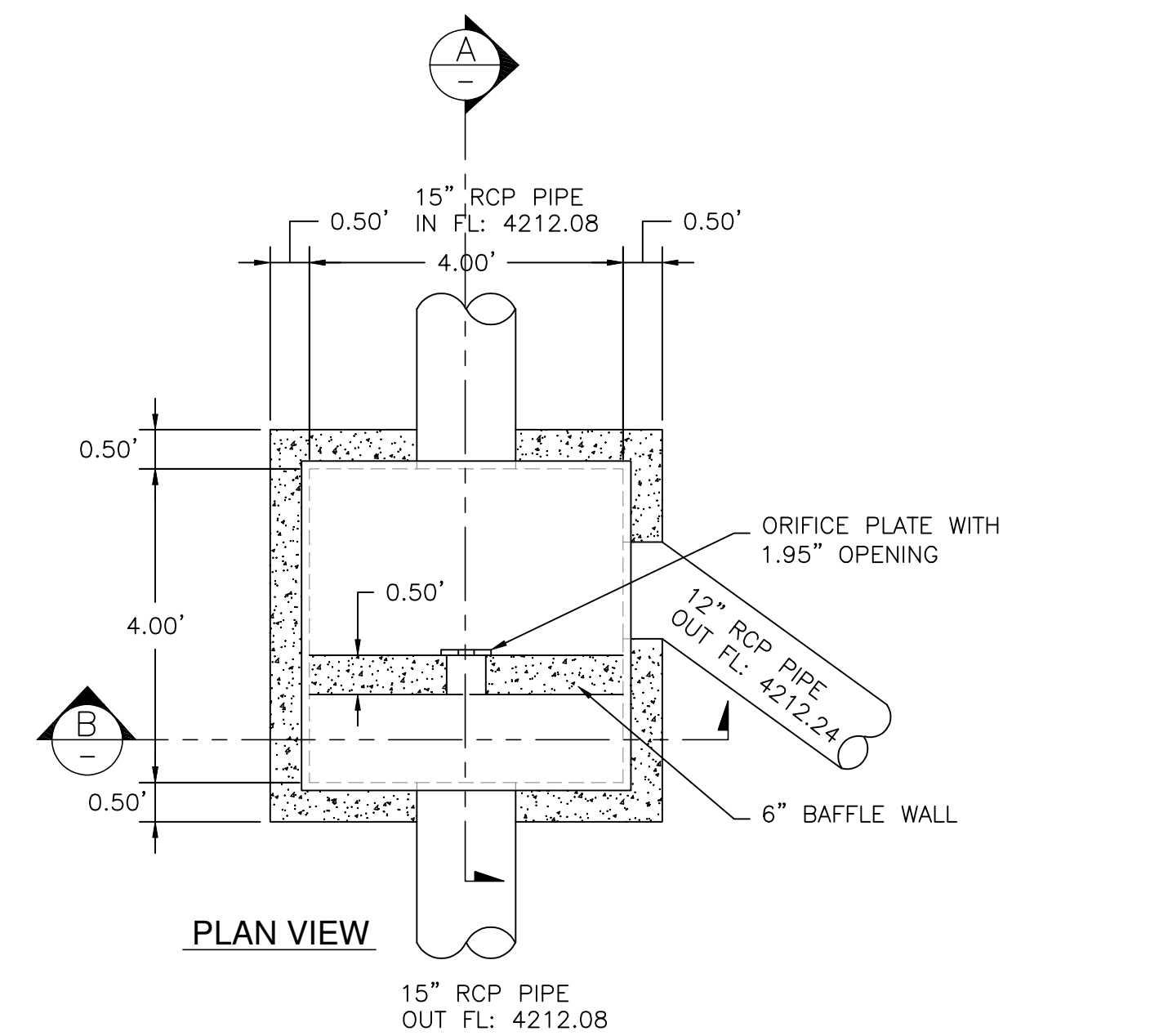
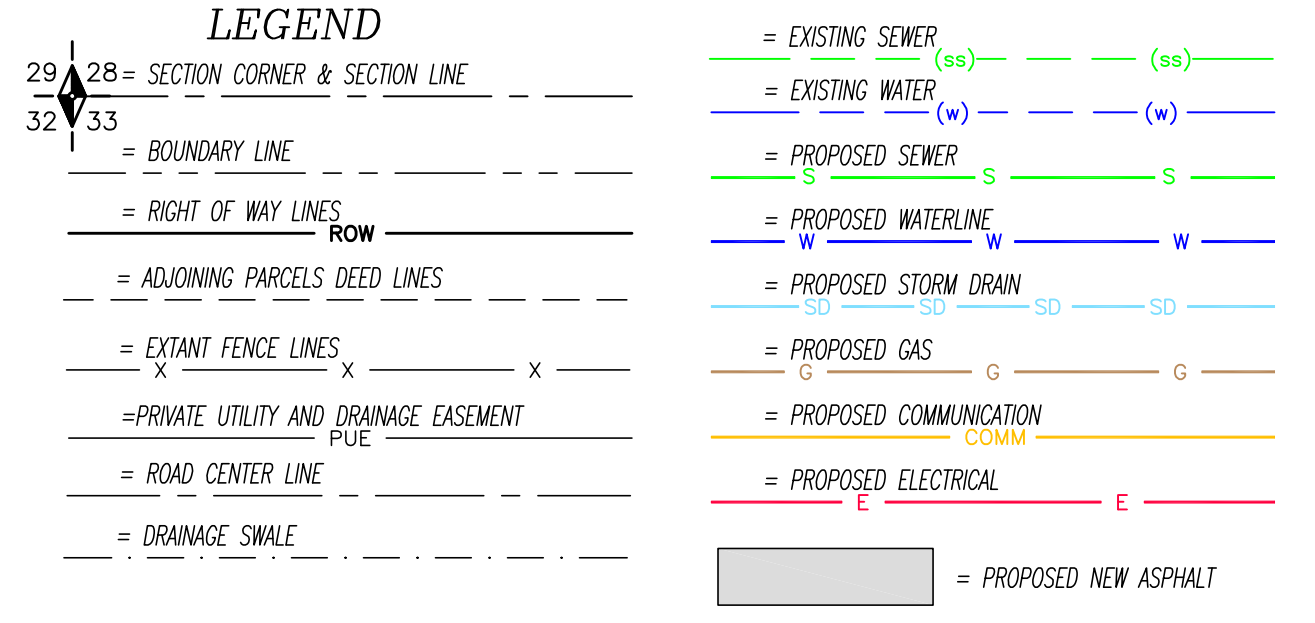
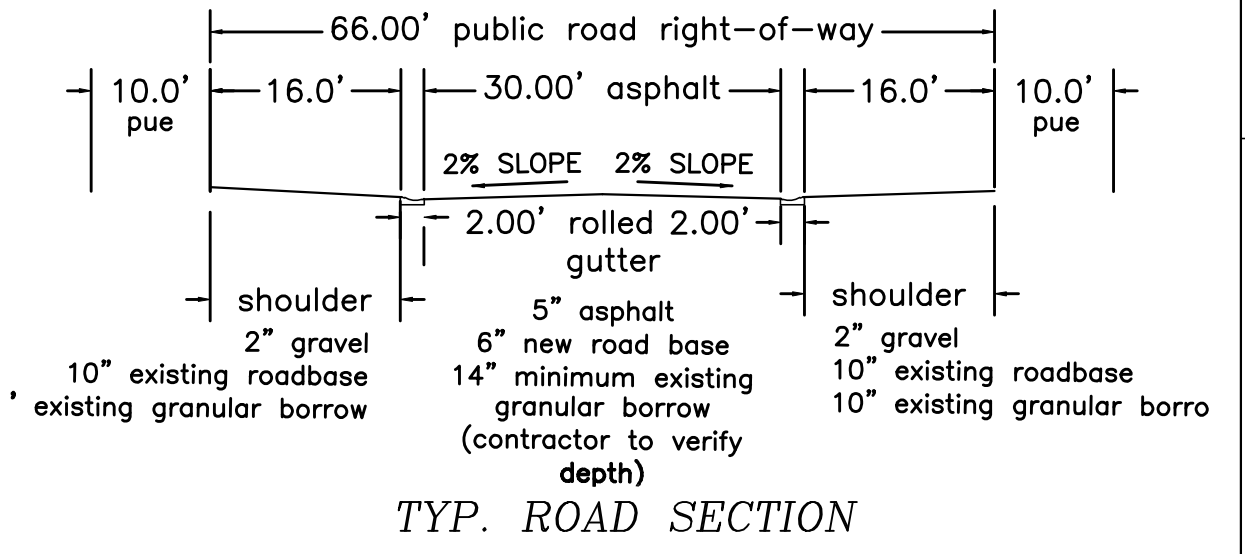
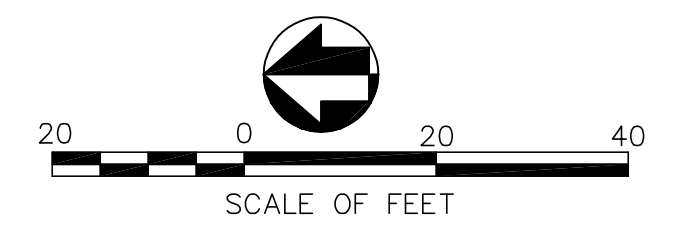
COTA INVESTMENTS
PARCEL 100410040
LOT 6

LOT 5
905 WEST, LLC

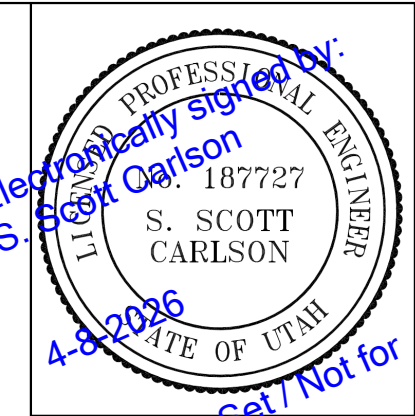
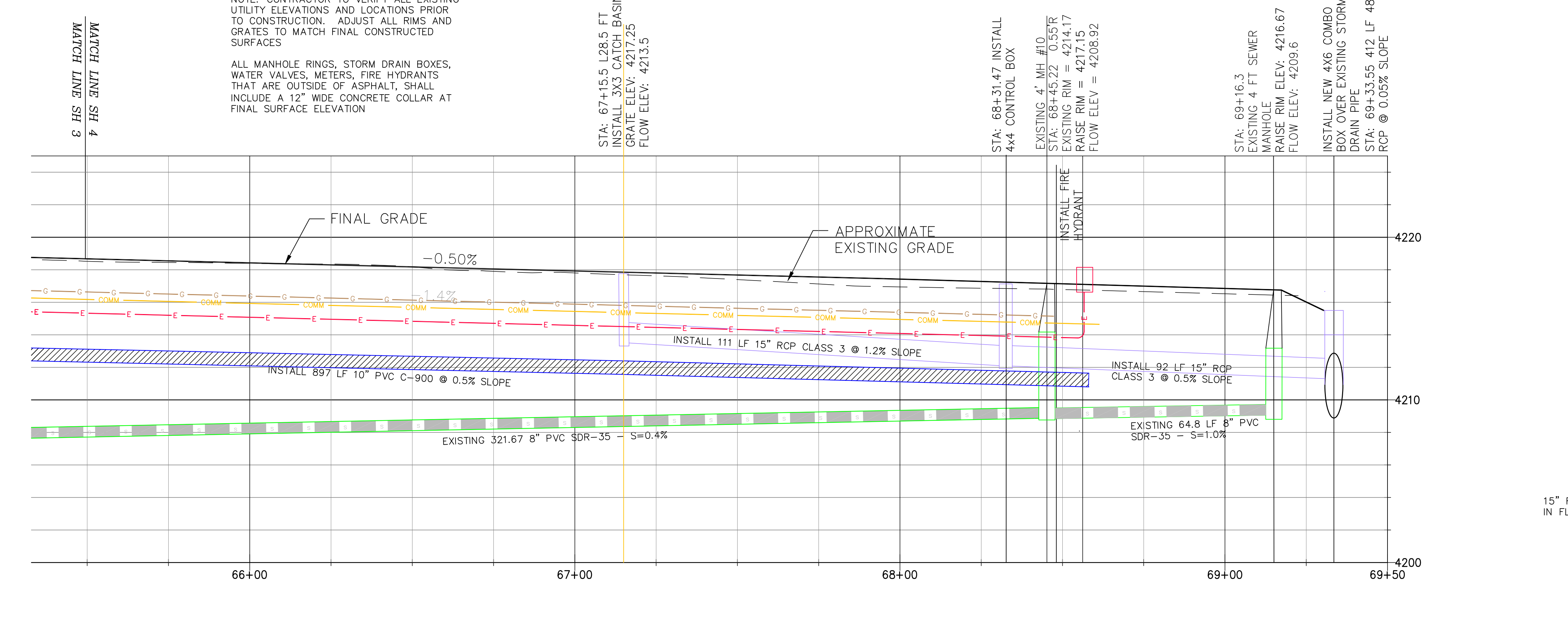
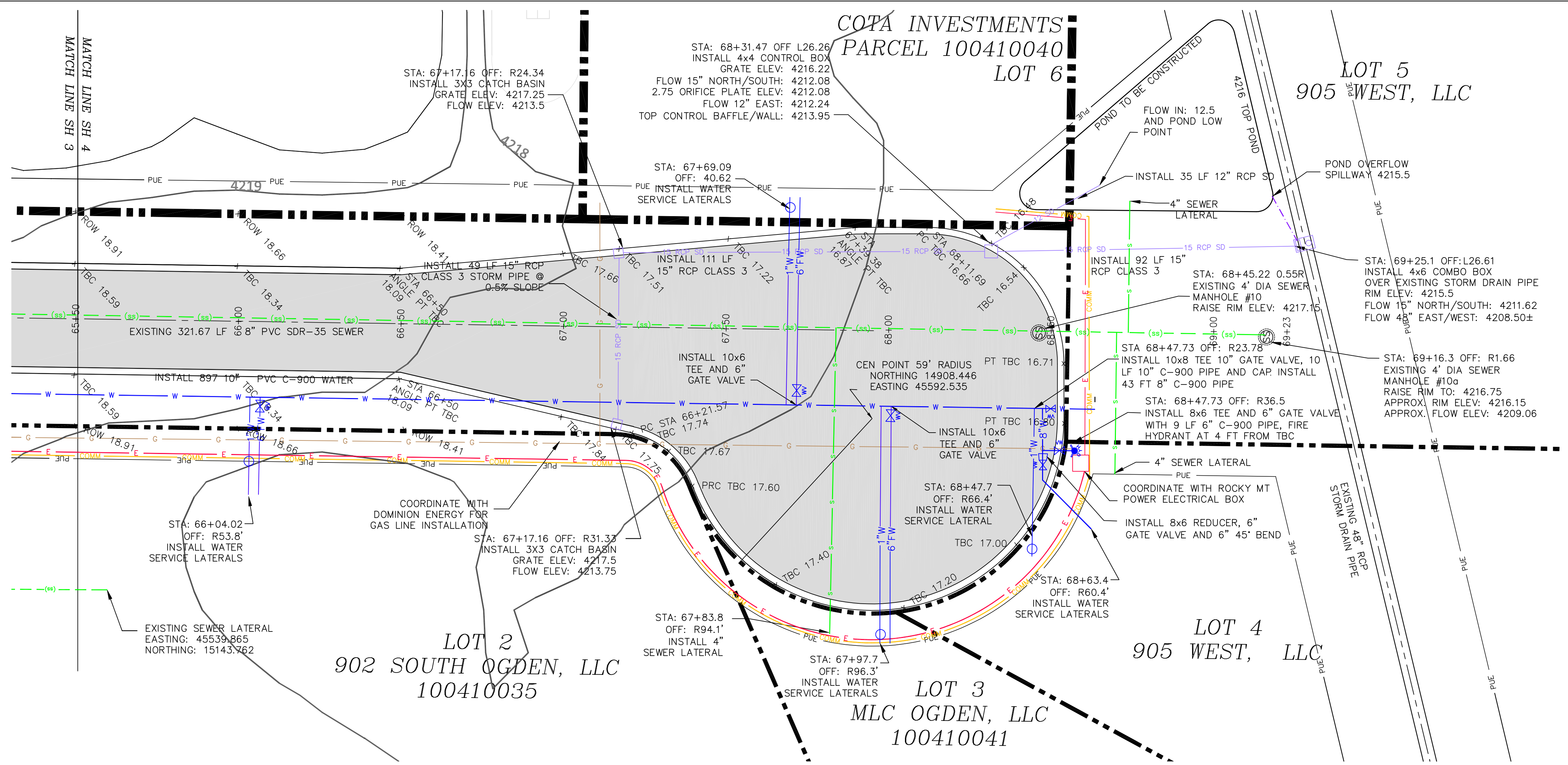
LOT 4
905 WEST, LLC

LOT 2
902 SOUTH OGDEN, LLC
100410035

LOT 3
MLC OGDEN, LLC
100410041



STORM WATER CONTROL BOX DETAIL



Review Set / Not for Construction

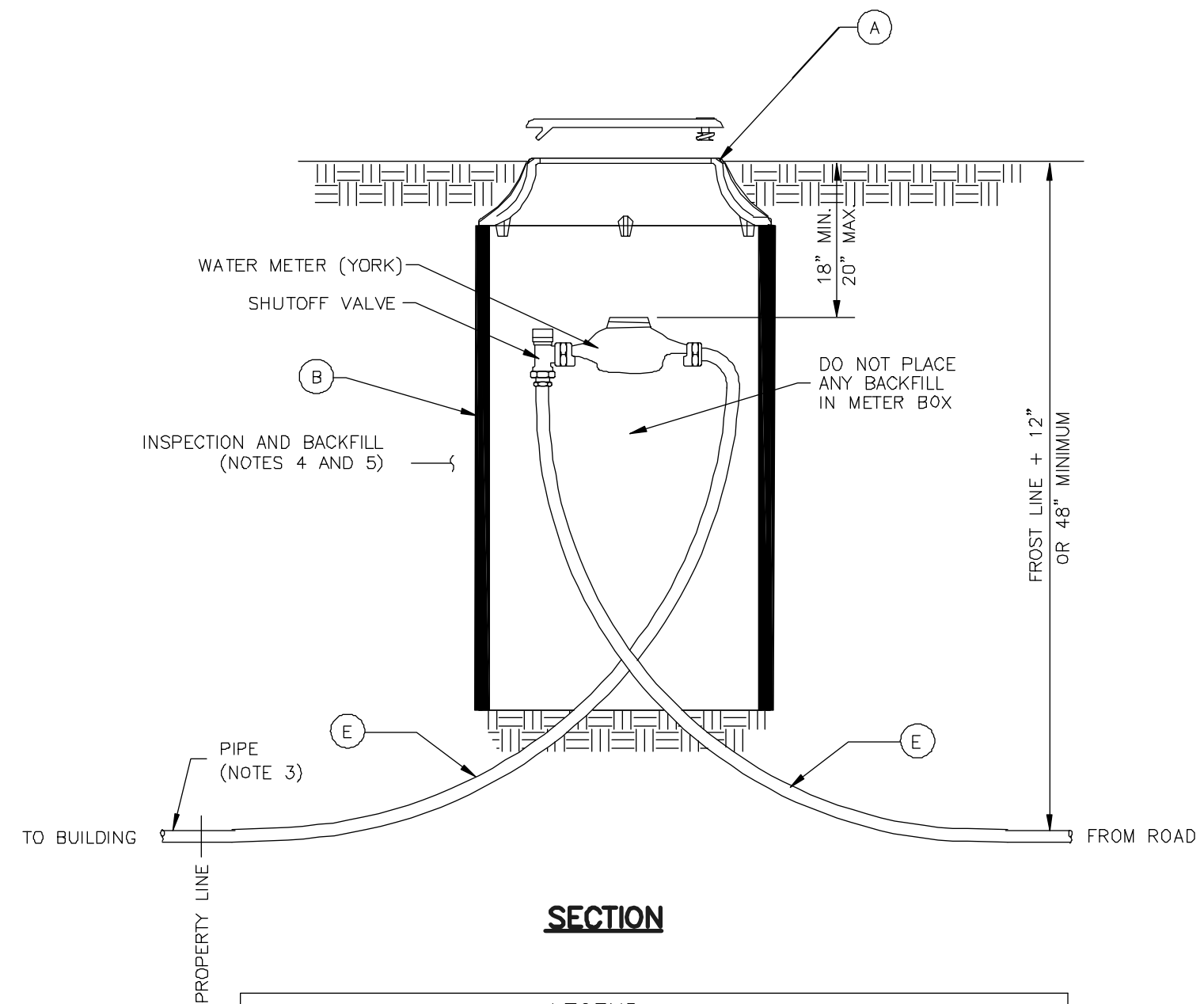
LITTLE MOUNTAIN INDUSTRIAL
9175 WEST ROAD AND UTILITY DESIGN
PLAN AND PROFILE STA: 65+50 TO 69+50
WEBER COUNTY, UTAH



DWG DATE:	March 2026
PLOT DATE:	23 March 2026
SHEET	4

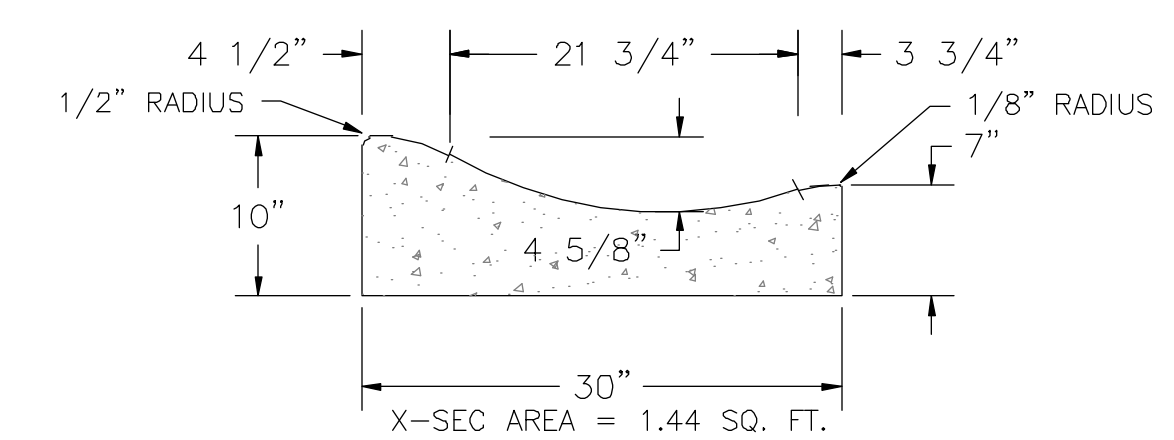
3/4" and 1" meter

- METER PLACEMENT:**
 - In new construction, install meter at center of lot or per agency requirements.
 - All meters are to be installed in the park strip or within 7 feet of the property line (street side).
 - Do not install meters under driveway approaches, sidewalks, or curb and gutter.
- METER BOX:**
 - In landscaped areas and driveway approaches, set box so grade of the frame and cover matches the grade of the surrounding surface.
 - In street surfaces or other vehicular traffic areas, provide the same type of meter box as required for 1 1/2" and 2" service meters. See Plan 522.
- PIPE:** Coordinate with utility agency or property owner for type of pipe to be used outside of right-of-way.
- INSPECTION:** Prior to backfilling around meter box, secure inspection of installation by ENGINEER.
- BACKFILL:** Provide and place per APWA Section 33 05 20. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness is 8 inches before compaction.
- CASTING:** Grey iron class 35 minimum per ASTM A 48.

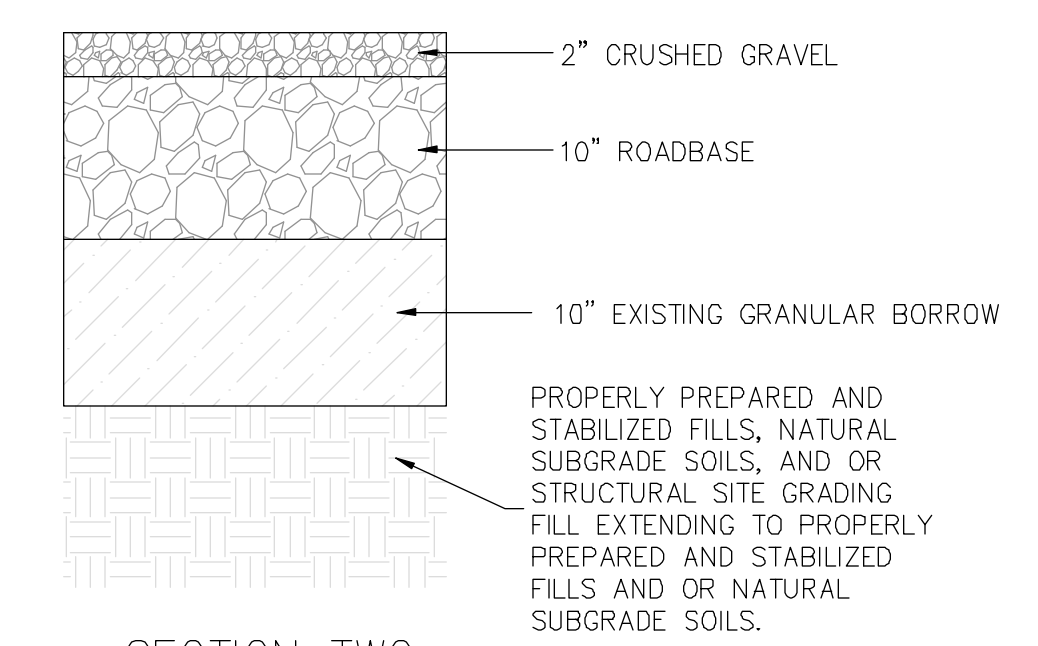
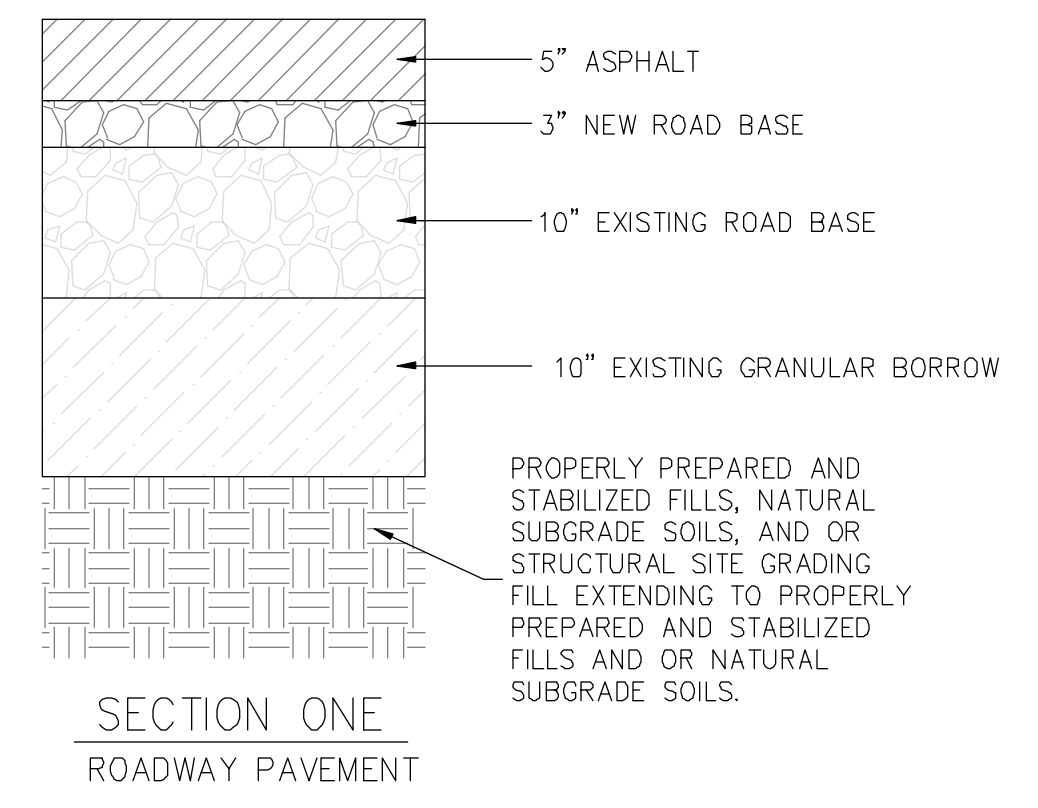


No.	*	ITEM	DESCRIPTION
(A)		FRAME AND COVER	CAST IRON COVER (grass) DUCTILE IRON COVER (driveway)
(B)		METER BOX (18" TO 21" DIAMETER) (30" TO 36" DEEP)	CORRUGATED PE, PVC, CMP OR MATERIAL ACCEPTABLE TO AGENCY
(E)		COPPER PIPE	1" CTS BRASS COMPRESSION FITTINGS

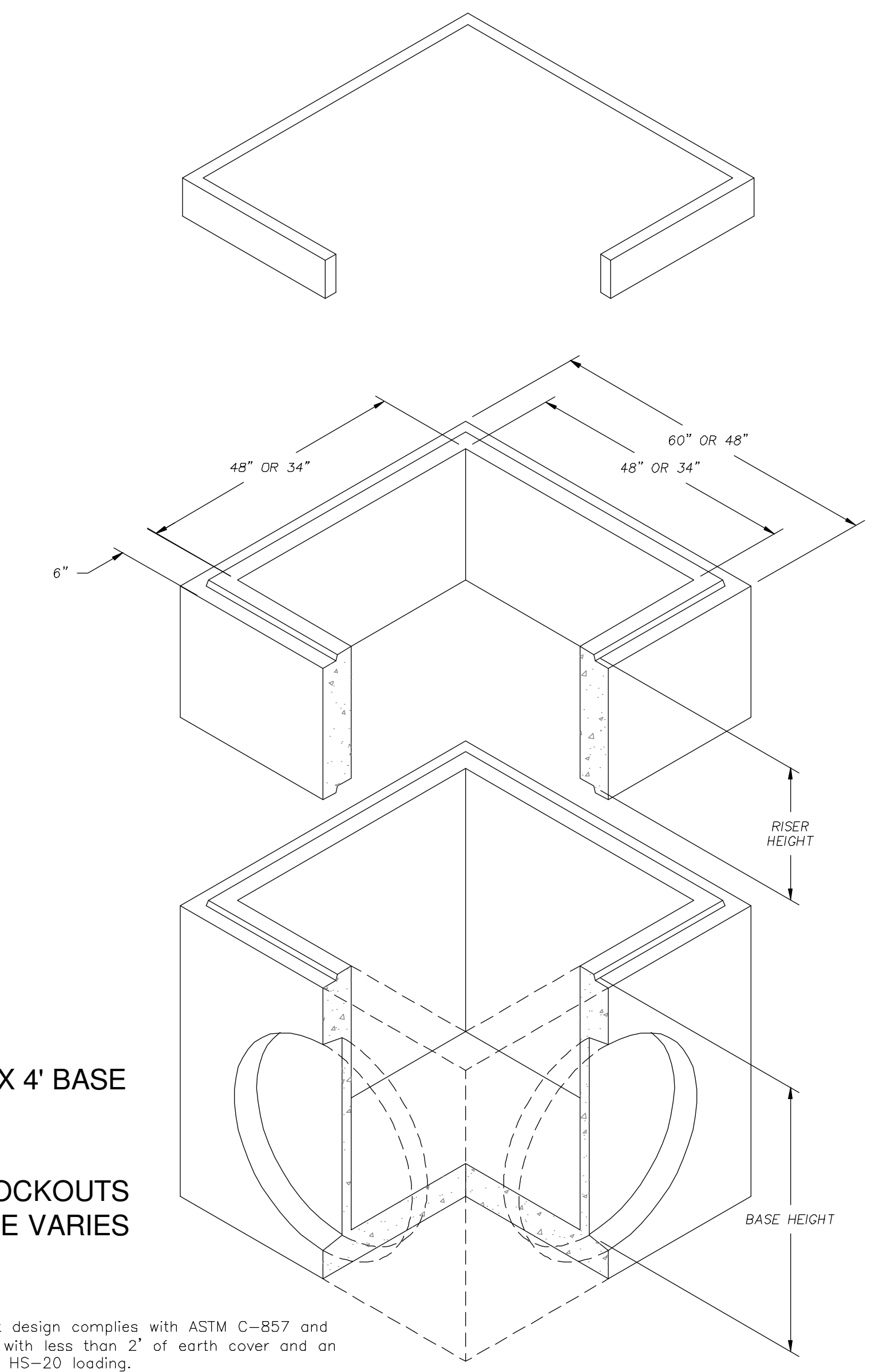
WEST WARREN-WARREN WATER METER
NTS



ROLL GUTTER DETAIL
SCALE 1" = 1"



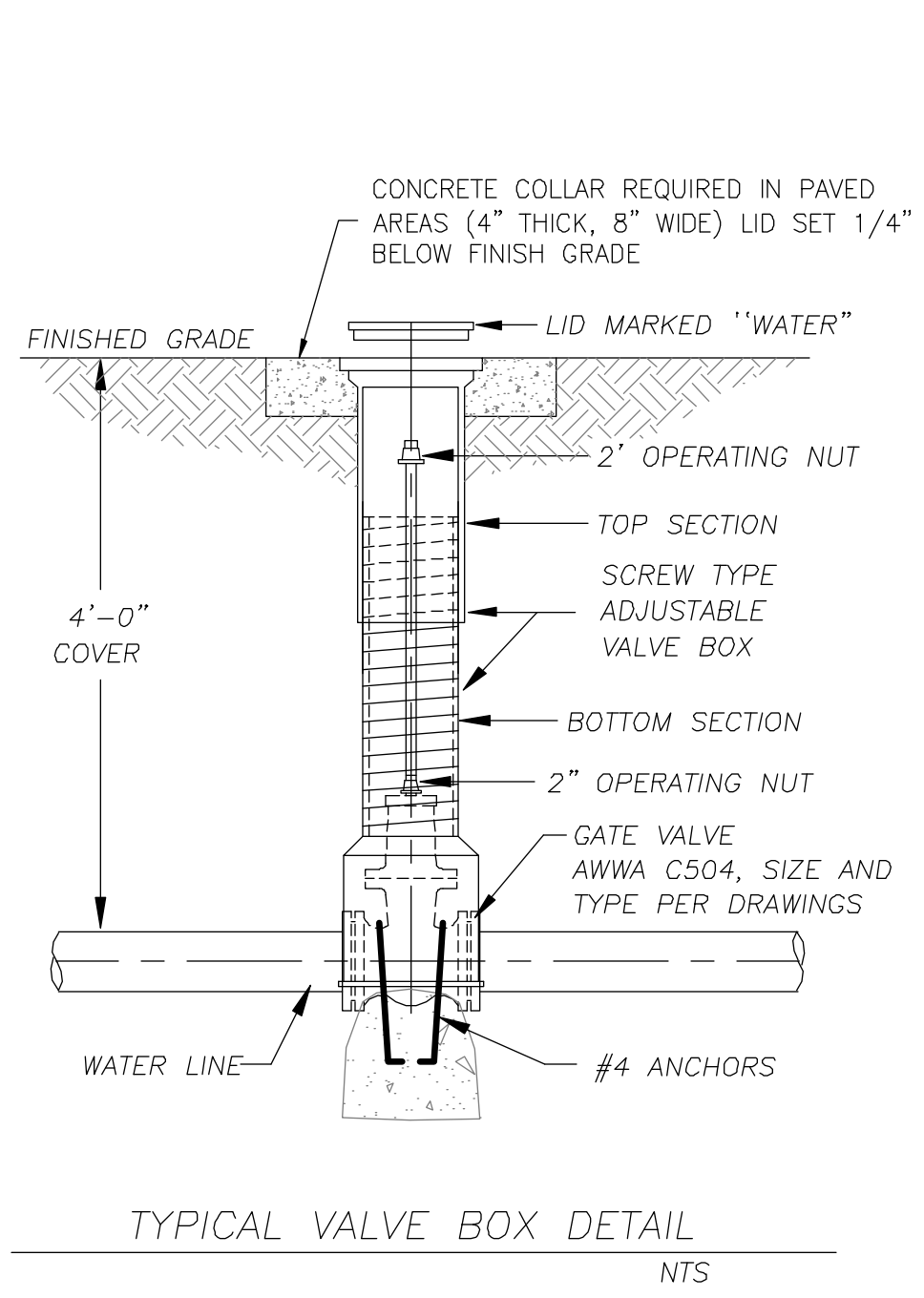
ROAD STRUCTURAL SECTION
N.T.S.



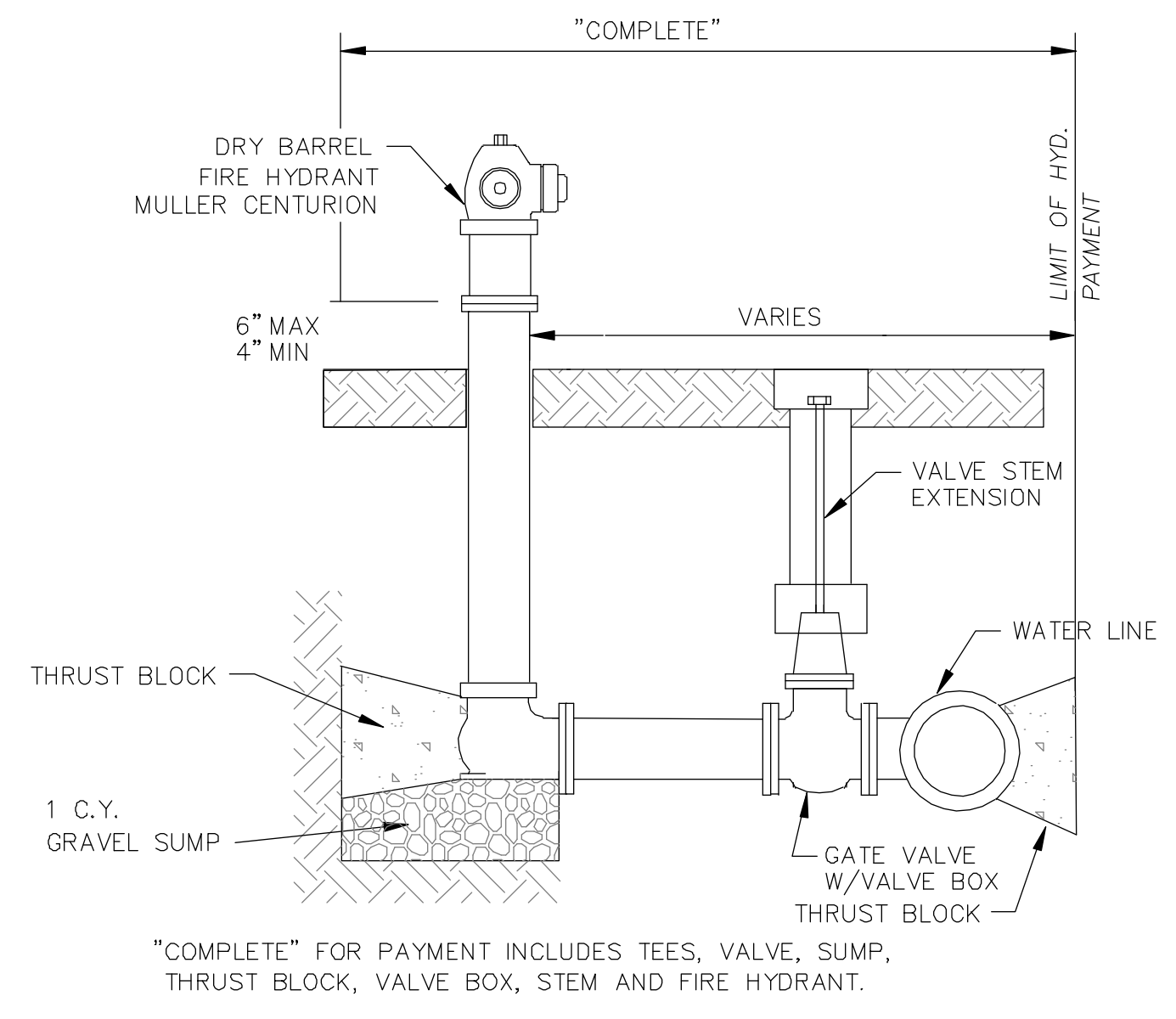
4' X 4' BASE
KNOCKOUTS
SIZE VARIES

- NOTES:
- Vault design complies with ASTM C-857 and C-858 with less than 2" of earth cover and an AASHTO HS-20 loading.
 - Lifting insert type and location may change without notice.

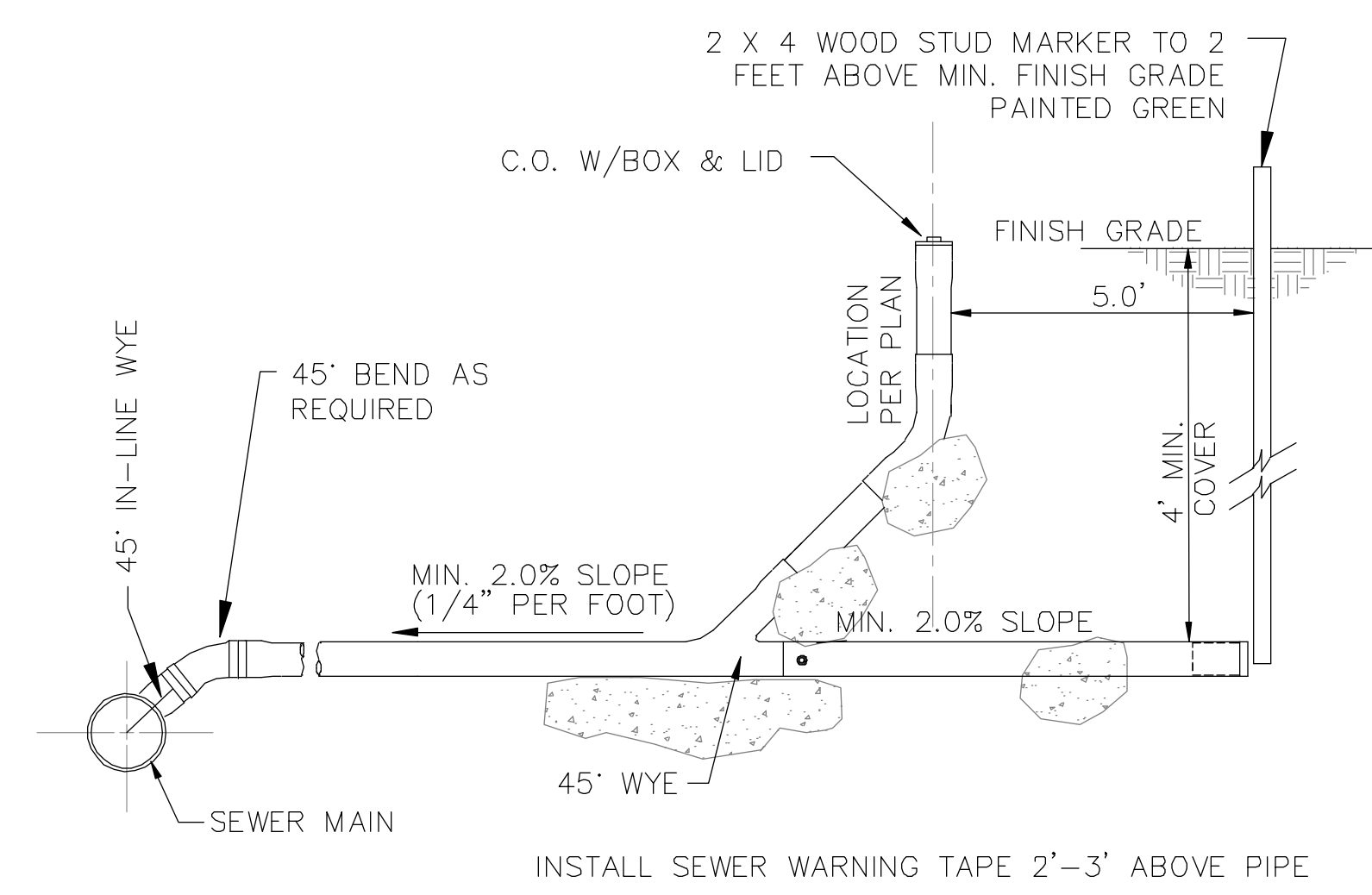
4x4 or 3x3 CATCH BASIN DETAIL
NOT TO SCALE



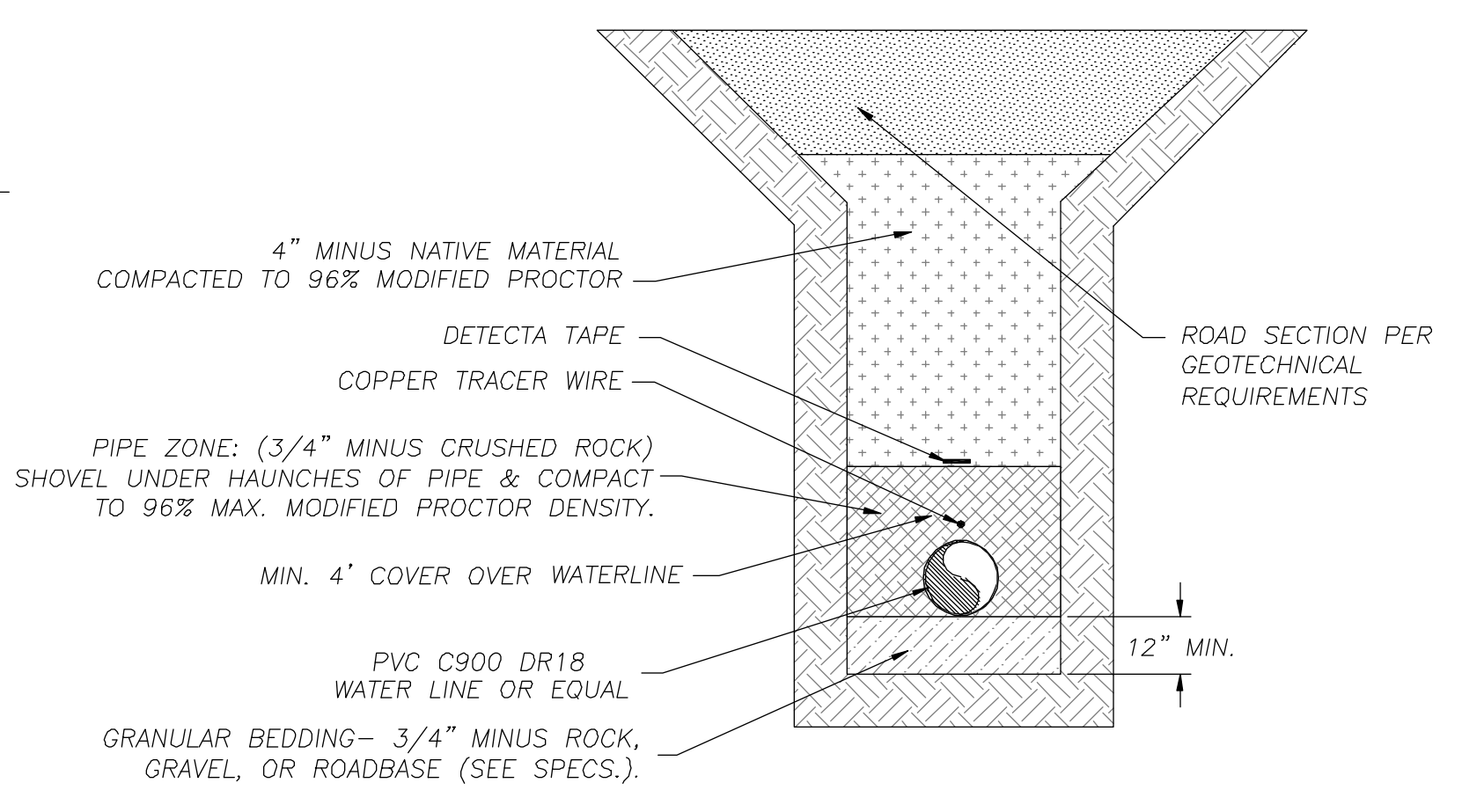
TYPICAL VALVE BOX DETAIL
NTS



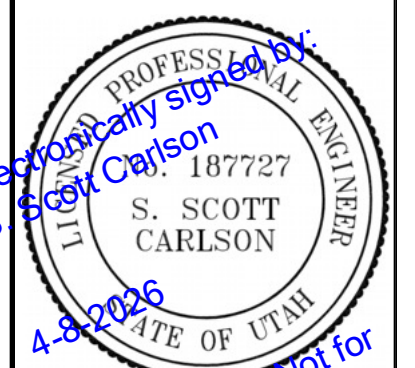
TYPICAL FIRE HYDRANT INSTALLATION
NOT TO SCALE



SERVICE CONNECTION TO EXISTING SEWER MAIN
NOT TO SCALE



TYPICAL WATER TRENCH DETAIL
NOT TO SCALE

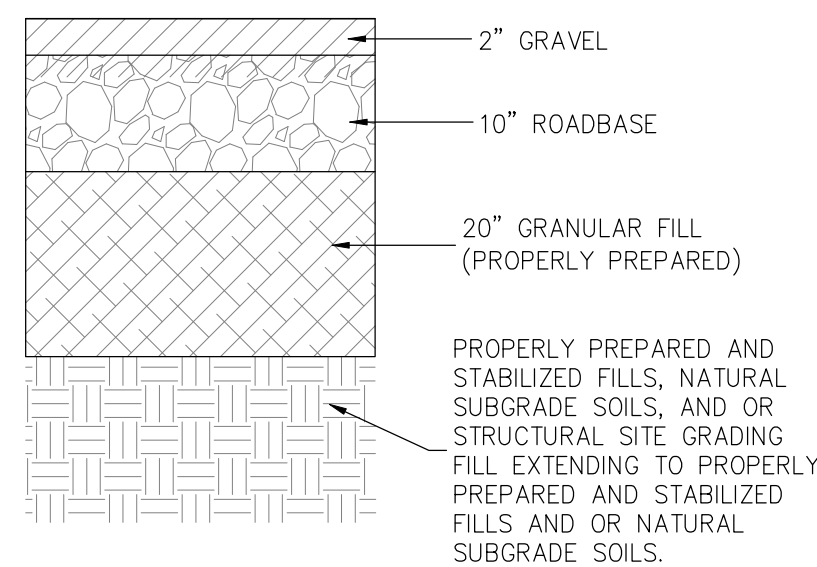


Reviewed by S. Scott Carlson
4-8-2026
Review Not for Construction

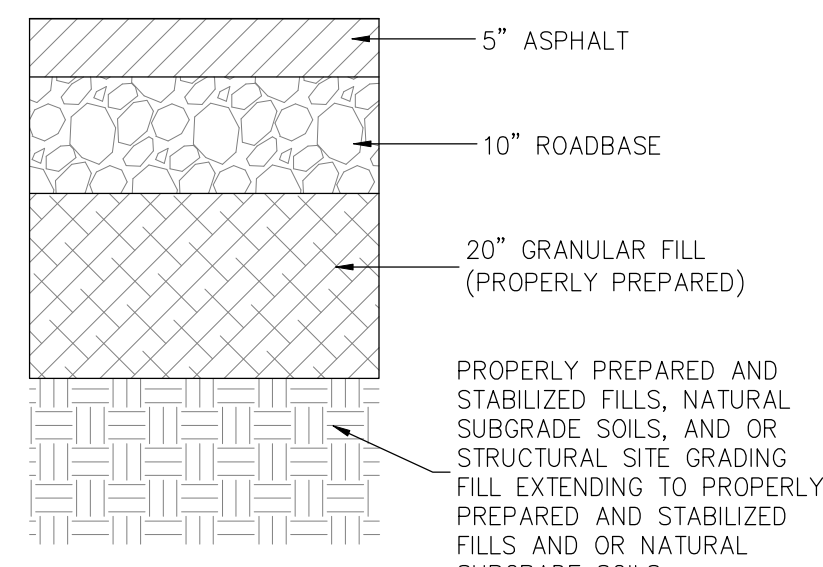
LITTLE MOUNTAIN INDUSTRIAL
DETAILS
WEBER COUNTY, UTAH



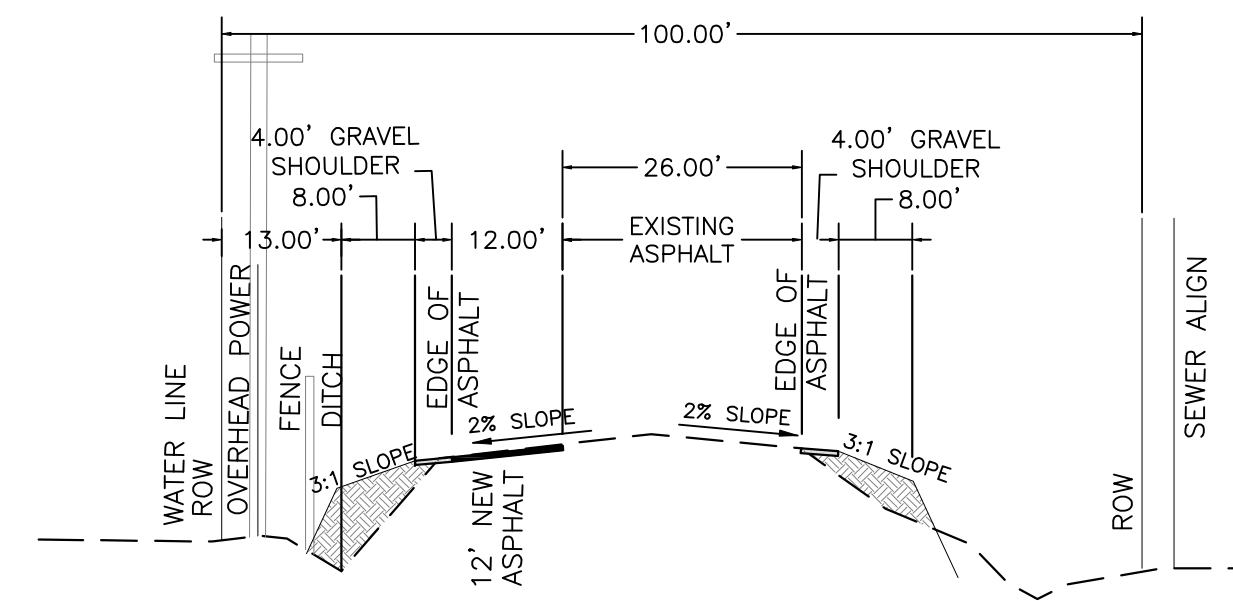
DWG DATE: October 2025
PLOT DATE: 1 OCTOBER 2025



SHOULDER SECTION
N.T.S.



ASPHALT SECTION
N.T.S.



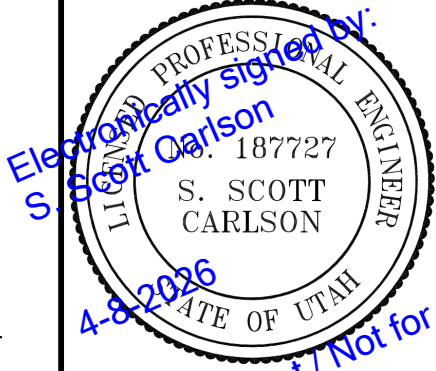
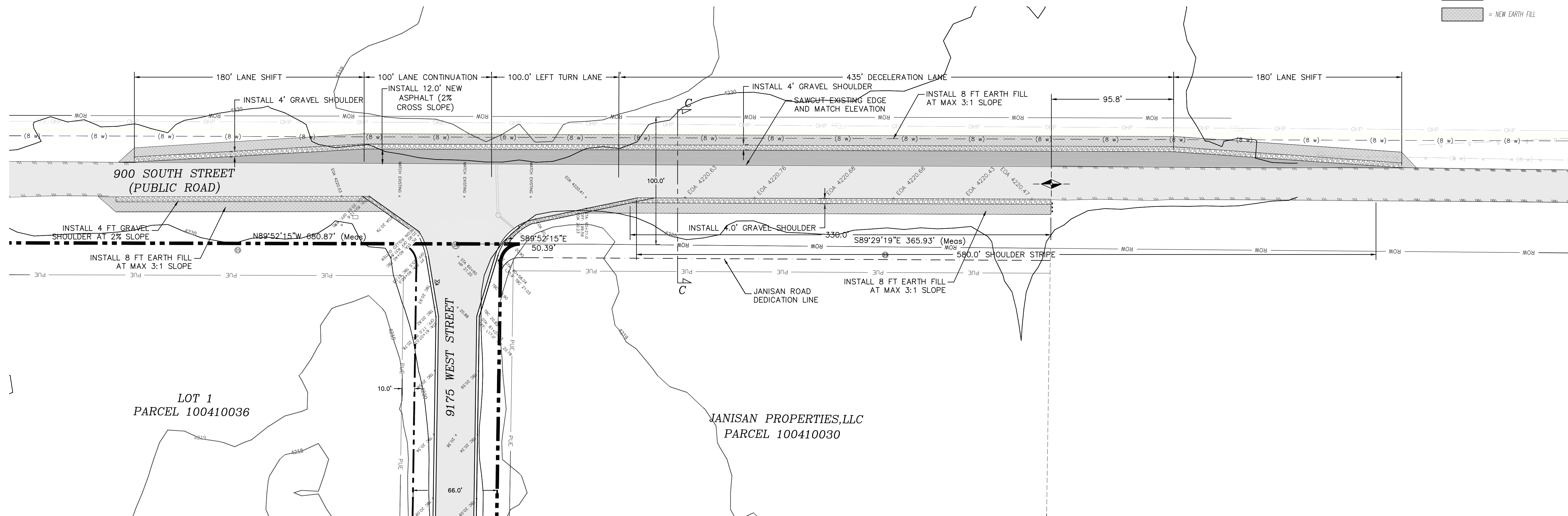
(C) SECTION 900 SOUTH

40 0 40 80
SCALE OF FEET

LEGEND

- 29 28 = SECTION CORNER & SECTION LINE
- 32 33 = BOUNDARY LINE
- = RIGHT OF WAY LINES
- = ADJOINING PARCELS DEED LINES
- = EXISTANT FENCE LINES
- = PRIVATE UTILITY EASEMENT
- = EXISTING 8" WATER LINE (8 w)
- = ROAD CENTER LINE
- = EXISTING EDGE OF ASPHALT
- = EXISTING SEWER (ss)
- = PROPOSED WATERLINE
- = EXISTING DITCH FLOWLINE

- [Pattern] = NEW ASPHALT
- [Pattern] = NEW GRAVEL
- [Pattern] = NEW EARTH FILL



Review Set 7 Not for Construction

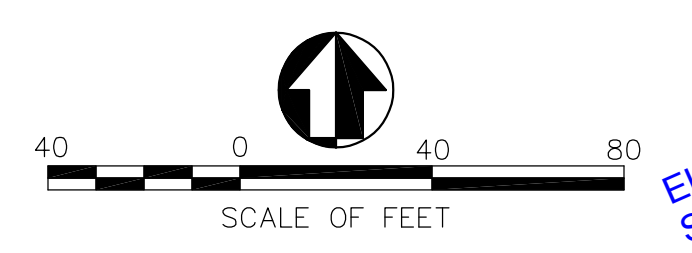
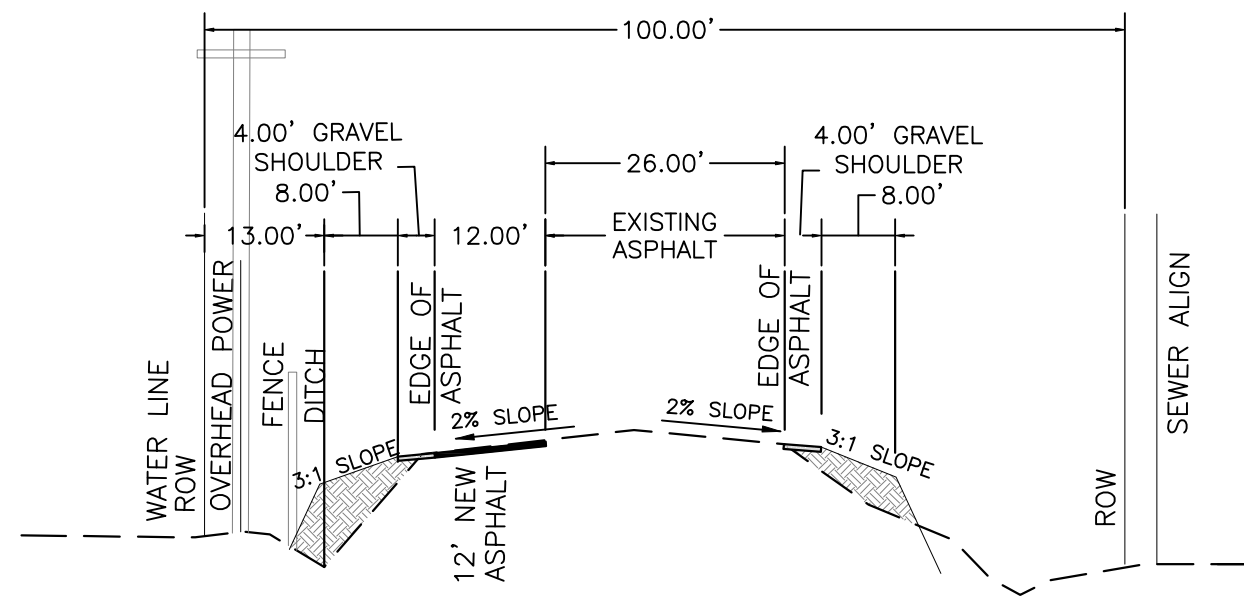
LITTLE MOUNTAIN INDUSTRIAL
900 SOUTH DECELERATION LANE
WEBER COUNTY, UTAH



DWG DATE: March 2026

PLOT DATE: 18 March 2026

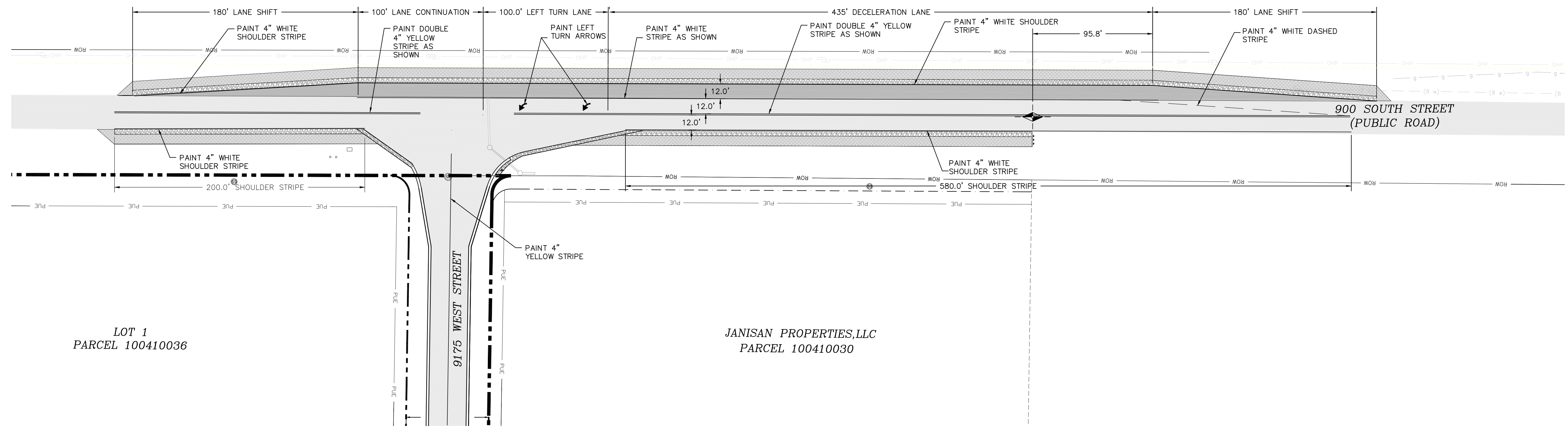
SHEET



LEGEND

- 29' 28" SECTION CORNER & SECTION LINE
- 32' 33" BOUNDARY LINE
- RIGHT OF WAY LINES
- ADJOINING PARCELS DEED LINES
- EXISTANT FENCE LINES
- PRIVATE UTILITY EASEMENT
- EXISTING 8" WATER LINE (8 w)
- ROAD CENTER LINE
- EXISTING EDGE OF ASPHALT
- EXISTING SEWER (ss)
- PROPOSED WATERLINE
- EXISTING DITCH FLOWLINE

(C) SECTION 900 SOUTH

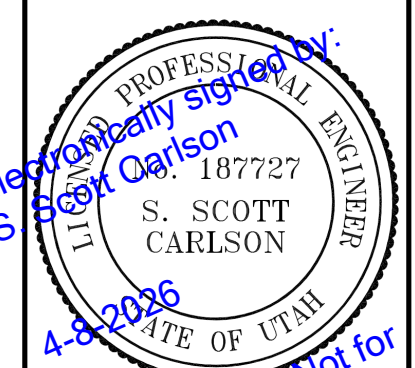


LOT 1
PARCEL 100410036

9175 WEST STREET

JANISAN PROPERTIES, LLC
PARCEL 100410030

900 SOUTH STREET
(PUBLIC ROAD)



4-13-2026
Review Not for Construction

LITTLE MOUNTAIN INDUSTRIAL
900 SOUTH STRIPING PLAN
WEBER COUNTY, UTAH



DWG DATE: March 2026
PLOT DATE: 18 March 2026

SHEET

Exhibit F

See next pages

Little Mountain Industrial Park Subdivision

Response to comments 4-30-2026

See written responses in red below:

Engineering Department comments

1. A deferral agreement for the sidewalk will be prepared and forwarded to be signed by the developer prior to final approval.

Please provide deferral agreement form for sidewalk.

2. Since the traffic impact study analyzes the development considering full buildout of 200,000 square feet of industrial space and the plans show the improvements based on this analysis, then the plat will need to include a note regarding this threshold of square footage and that an updated traffic impact study and roadway improvements will be required for building permits exceeding this limit.

Plat note has been added:

Traffic study and roadway improvements have been prepared based on a sum total maximum industrial building size of 200,000 square feet for the lots in this subdivision. In the event that more or larger buildings are proposed, an update to the traffic study will be required and additional roadway improvements may be needed.

3. Please add a note that identifies the drainage conveyance for the lots and include a detail of a drainage swale for the drainage easement.

Site plan note and detail has been added to sheet 2. Also an example of where lots may place drainage swales , berms and detention ponds has been added to sheet 2.

4. This review and comments are assuming there are no issues that arise from a wetlands study, which has not yet been completed.

Wetland scientist is coming to review the site. Project commits not to disturb jurisdictional wetlands (if any) without a permit from ACOE.

Little Mountain Industrial Park Subdivision

Response to Comments 4-24-2026

Reminder: State code prohibits addition of comments in subsequent reviews that were not listed in prior review or caused by changes to the plan made since prior review.

County Planning Review #2 dated 4-23-2026

1. The subdivision plan shall include an easement for a Future Public Right-of-Way in an east-west direction with minimum building setbacks shown on the subdivision plat and the civil design plan.

Per comments on prior review, the Connectivity plan already shows the potential corridor for possible future pathway and east west connection road. A PUE has been already been provided in the east west direction on the plat to preserve a corridor in the event that a future road is ever needed.

An east west connecting road is not needed for this subdivision and has nowhere to connect on the adjacent properties.

If county wishes to purchase a right of way at this time for the future road, please let us know.

2. Section 106-2-3 Blocks, states that the maximum length of blocks generally shall be 1,300 feet and the minimum block length of 500 feet. Placing an east-west intersection at the end of 9175 West will satisfy this requirement.

Prior response regarding block length: The distance from the existing south right of way of 900 South Street to the cul-de-sac radius point is 745 feet

The cul-de-sac length is already less than 1300 feet and greater than 500 feet, thus meeting the code requirements. The code reference is more appropriately applied to residential blocks and lots. The more pertinent code for this purpose is Section 106-2-3 (c) Blocks intended for business or industrial use shall be designed specifically for such purposes with adequate space set aside for off-street parking and delivery facilities. Design of this subdivision and the cul-de-sac has followed this code segment (c).

3. Parcel number 10-041-0030 shall be included with the subdivision plan to conform with Section 106-2-4.010 (f) Remnant Parcels.

Code Section 106-2-4.010 (f) does not apply to this subdivision.

Remnant Parcel. A subdivision of land shall not exclude from its boundary any part or remainder of a Parcel affected by the subdivision unless the remnant Parcel is exempt from the definition of a subdivision under state and county code, or is exempt from platting requirements by state code.

Parcel 10-041-0030 is the neighbors property and is not part of this subdivision and is not a remnant Parcel. This parcel was created years ago, prior to this subdivision application. This parcel is not created or affected by this subdivision. The owner of this parcel is not party to this subdivision and will not sign this subdivision plat.

4. The owner shall enter into a deferral agreement for the curb, gutter, and sidewalk for 9175 West Street and East-West Street.

Prior response regarding Curb/Gutter/Sidewalk: Curb/gutter is already shown on the design drawings. Gravel walking path is shown for the entire shoulder. Please provide deferral form for future sidewalk if that is needed.

5. The civil plans and subdivision plat are revised to implement recommendations from the County Engineer and the Planning Division.

Thank you

6. A Will-Serve Letter from Warren-West Warren Water District shall be provided before the subdivision plat is recorded.

Water letter from Warren – West Warren Water District has been provided. Additional letter will be provided from District prior to plat recordation.

7. Approval from the Weber Fire District for the planned asphalt width of 9175 West Street is obtained.

Thank you

8. Code Section 106-2-1.010 (a) (b) says no dead-end streets.

The referenced code section does not mention or prohibit dead-end streets. Given the railroad location / elevation to the south and the adjacent subdivided and developed property to the west and east, the 9175 W cul-de-sac cannot logically or reasonably be connected or continued along the same street alignment or connected to adjoining undeveloped land.

The cul-de-sac is not a “dead end street” but rather it has a full oversized turnaround circle. The cul-de-sac is necessary given the conditions of the property and adjacent

property. Code Section 106-2-1.020 (c) (4) states that a cul-de-sac may be allowed. As we have discussed for past few years, this cul-de-sac is needed and warranted and an exception should be granted by the Land Use Authority. Code Section 106-2-1.020 (b) (1) further states that this code section is only mandatory in the residential zones.

9. If 900 South is not being dedicated to 132, then place a note on the plat explaining the building setback shall be measured from the future ROW, see Section 108-7-10.

Explanatory note will be added to the plat

County master planned Right of Way for 900 South Street is 66 ft south of the section line. County code Sec 108-7-10 requires that building setbacks for Lot 1 be measured from that future ROW line. Code Sec 104-21-5 (c) identifies 20 ft side yard setback for corner lot in M3 zone which would apply to the north line of Lot 1.

10. Proof of completed water and sewer connections must be included with the Building Permit application.

Thank you for the reminder. Water and sewer connections will be constructed after approval of this subdivision and granting of permit to construct 9175 W road. Building permits for construction on the lots will occur in the future and proof of connections can be provided at that time.

11. A Restrictive Landscape Covenant shall be recorded with the final plat.

Thank you for the reminder. Developer has already provided the landscape covenant document to county which will be signed and recorded with the final plat.

Little Mountain Industrial Park Subdivision

Response to comments **See written responses in red below:**

County Planning Review 3-9-2026 Subdivision Code:

1. The County Commission signature block may be removed since this is a small subdivision, for which the Planning Director is the land use authority Section 106-1-8.030.

Referenced signature block removed from subdivision plat

Planning commission block has been rewritten to reference Planning Director

2. 900 South Street at this location is planned for a 132' ROW. 66' from the centerline will need to be dedicated to the 900 South public ROW. See code Section 106-2-2.010 and 106-2-2.050.

While we recognize the county's authority to take additional property for future regional road widening needs out to 132 ft right of way, the action to require this dedication from owners of private property when county already has 100 ft of dedicated right of way for 900 South Street, exceeds the potential impact from this project and would require compensation to the owner of the property. In an effort to preserve the corridor for the county's future acquisition, a 25 ft PUE is shown along the existing 100 ft right of way line.

Sec 106-2-2.010 Public Street Requirement

The standard method of ensuring ease of access, efficient mobility, reduced response time for first responders, effective emergency management, strong neighborhood relationships through interconnectivity, and a more equitable means of access to community opportunities, is by requiring Public Streets and Public Street connectivity at the time new development is proposed. As such, the default requirement for each subdivision Lot is to provide Lot Frontage on a street dedicated to the County as a public right-of-way and thoroughfare.

1. **Public Street dedication.** Each street in a subdivision shall be dedicated to the county as a Public Street, except when a Private Street is allowed or required as provided in this Section 106-2-2.

2. **Standard street cross-sections.** All proposed Public Streets shall conform to the county street cross-section standards, unless explicitly specified otherwise.

Sec 106-2-2.050 Arterial And Collector Streets

(a) Unless specified otherwise in this Land Use Code, an Arterial or Collector Street shall be dedicated to conform to the right-of-way width designated in the general plan, master street plan, capital improvement or facilities plan, impact fee facilities plan, development agreement, or similar adopted planning or street design document. Setback from an Arterial and Collector Street shall be in compliance with Section 108-7-10.

(b) Both Arterial and Collector Streets are limited access streets. Subdivisions shall be designed to avoid providing Lots direct access from an Arterial or Collector Street, wherever possible. If a subdivision cannot be designed to avoid providing a Lot access directly from an Arterial or Collector Street, then access to the Lot shall follow the access provisions of Section 108-7-29. Residential access may be gained from the Arterial or Collector Street by sharing another previously existing residential access.

State Code: 63L-3-102. Definitions.

As used in this chapter:

- (1) "Constitutional taking" or "taking" means a governmental action that results in a taking of private property so that compensation to the owner of the property is required by:
 - (a) the Fifth or Fourteenth Amendment of the Constitution of the United States; or
 - (b) Utah Constitution Article I, Section 22.
- (2) (a) "Governmental action" or "action" means:
 - (iii) required dedications or exactions from owners of private property; or
 - (iv) statutes and rules.
- (5) "Takings law" means the provisions of the federal and state constitutions, the case law interpreting those provisions, and any relevant statutory provisions that require a governmental unit to compensate a private property owner for a constitutional taking.

72-5-405 Private owner rights.

(1) The department, counties, and municipalities shall **observe all protections conferred on private property rights, including Title 63L, Chapter 3, Private Property Protection Act, Title 63L, Chapter 4, Constitutional Takings Issues Act, and compensation for takings.**

(2) Private property owners from whom less than fee simple rights are obtained for transportation corridors or transportation corridor preservation have the right to petition the department, a county, or a municipality to acquire the entire fee simple interest in the affected property.

(3) (a) A private property owner whose property's development is limited or restricted by a power granted under this part may **petition the county or municipality that adopted the official map to acquire less than or the entire fee simple interest in the affected property, at the option of the property owner.**

3. The general plan shows a pathway alignment along the drainage canal.

Connectivity plan is updated to show 100 ft corridor for possible future pathway and east west connection road

4. The GP shows an east-west Future Minor Commerce Street (100') ROW. On the connectivity plan, show the planned 100' ROW alignment.

Connectivity plan is updated to show 100 ft corridor for possible future pathway and east west connection road

5. The subdivision plan should, at minimum, show the appropriate ROW dedication for 900 South Street.

See response to comment 2 above. 25 ft PUE has been shown to preserve the corridor. The County may wish to suggest purchasing a Road Preservation Easement if it does not want to initially purchase the full 16 feet of right of way as fee simple.

6. The National Wetland Inventory shows several wetlands within the property. The subdivision plan shall show the existing location of wetlands. Section 106-1-5.10.

The NWI does not reflect conditions on site. A wetland scientist has been hired to identify any potential wetlands. County staff is welcome to make a site visit to confirm existing conditions for themselves if desired.

7. Street layout 106-2-1.020 (c) (1) (b) Street block shall have a length of no greater than 800 feet. The land use authority may approve an exception to this rule if a street block cannot be formed as a result of one of the following: See code section a-e. Notice that wetlands are considered sensitive lands.

(1) Street-Block. A Street-Block, as defined in Section 101-2-20, shall have a **length of no greater than 800 feet**. The Land Use Authority may, but is not obligated to, approve an exception to this rule if a Street-Block cannot be formed as a result of one or more of the following. However, in each case the applicant shall provide a Street-Block or a connection that will help form a future Street-Block as near as is otherwise reasonably practicable:

a. The adjacent area to which a street could otherwise be extended is built-out such that no reasonable street connection can be made thereto;

b. The adjacent area to which a street could otherwise be extended has characteristics that significantly reduce the likelihood the Street-Block will be needed, as determined by the Land Use Authority. These characteristics

include, but are not limited to, sensitive lands such as geologic hazards, riverways, floodplains, wetlands, and slopes on which no reasonable street configuration can be created that complies with allowed street grades;

c. The adjacent area to which a street could otherwise be extended has culturally or locally important lands that can, are, or will be permanently preserved in a manner that benefits the general public. The Land Use Authority may require the applicant to secure the permanent preservation in a manner satisfactory to the Land Use Authority;

d. Adherence to the maximum Street-Block length will interrupt a regionally significant pedestrian pathway delineated in the area's general plan or similar planning document; or

e. Strict adherence to the maximum Street-Block length will result in a Street-Block that is less than 300 feet in length.

The distance from the existing south right of way of 900 South Street to the cul-de-sac radius point is 745 feet.

If county purchases the additional 16 ft of right of way for 900 South Street, the length of 9175 West Street will be reduced further.

8. Access onto a collector street is prohibited. Please mark the frontage line of 900 South Street as "No Access" Section 106-2-2.050 (b).

Site plan and subdivision plat already have notes indicating "no access" from Lot 1 to 900 South street.

9. Comment 9 has been deleted by planning department

10. The ten-foot public utility easements that are parallel to the street should be made public and dedicated in the Owner's Dedication Section 106-2-4.010 (h), Section 106-7-1.

Annotation regarding 10 ft public utility easements parallel to the streets have been updated. The owners dedication has been updated to reflect this.

Engineering Department comments

I have had a chance to review the plan(s) and have the following comment(s): **Written responses to the following comments are required. See written responses in red below:**

1. The proposed subdivision will need to have curb, gutter and sidewalk as per the county commission. As a bare minimum there will need to be a deferral on the curb, gutter and sidewalk, which has been signed by the developer prior to final approval.

Curb/gutter is already shown on the design drawings. Gravel walking path is shown for the entire shoulder. Please provide deferral form for concrete sidewalk if that is needed.

2. The detention pond easement is not shown on lots 5 and 6 on the dedication plat.

Pond is located within the PUE and Drainage easement as shown on the updated plat

3. The plat will need to allow access to the 50' drainage easement to Weber County.

50 ft drainage easement is PUE which is connected to the 9175 W road. Weber County has access through the PUE on the updated plat.

4. The traffic impact study appears to analyze the development considering only phase 1, or less than 65,000 square feet of industrial space. The traffic impact study will need to consider the development at full buildout and the improvements for the full project buildout will need to be included in the construction drawings. Please also have the report address the concern for semi-trucks turning eastbound out of the subdivision. The improvements of the inland port or other sources of future widening are not guaranteed and should only be considered if they are complete at the time of construction of this subdivision.

The traffic study (See pages i and 8) analyzes all development phases with combined building area of approximately 200,000 sqft. The study does indicate that Phase 1 (first building less than 65000 sqft) can be accommodated prior to completion of the westbound left turn deceleration lane. Nonetheless, this decel lane (widening 900S to 3 lane cross section) is scheduled for construction together with the 9175 West road construction. See improvement design drawing sheets 6 and 7 submitted.

SUMMARY OF KEY FINDINGS & RECOMMENDATIONS

Project Conditions		
<ul style="list-style-type: none"> The development will consist of industrial land uses, with a combined building area of approximately 200,000 square feet The project is anticipated to generate approximately 720 weekday daily trips, including 96 trips in the morning peak hour, and 98 trips in the evening peak hour Based on the anticipated project traffic at full buildout, a westbound left-turn deceleration lane is recommended at the 9175 West / 900 South intersection. This lane is not anticipated to be needed until approximately 65,000 square feet of industrial space, at which time the lane could be accommodated by the planned widening of 900 south to a 3-lane cross section Based on the observed traffic, 25% of all vehicles in the area are large trucks 		
2025	Background	Plus Project
Assumptions	<ul style="list-style-type: none"> None 	<ul style="list-style-type: none"> None
Findings	<ul style="list-style-type: none"> Acceptable LOS 	<ul style="list-style-type: none"> Acceptable LOS

B. Project Description

The proposed Little Mountain Industrial development is located on the south side of 900 South, east of the 9350 West / 900 South intersection. The development will consist of industrial land uses, with a combined building area of approximately 200,000 square feet at full build. The first phase of construction will only include approximately 60,000 square feet and the rest is anticipated to be built out at a later time. Only full build conditions were analyzed as a worst-case scenario. A concept plan for the proposed development is provided in Appendix A.

The traffic study already addresses semi-trucks northbound turning eastbound out of the subdivision. Intersection has been designed to accommodate these trucks. See report page 9 and Appendix E Turning Templates

900 South:

- 9175 West will be located approximately 1,000 feet east of the 9350 West / 900 South intersection. It will access the project on the south side of 900 South. It is anticipated that the access will be stop-controlled.

Hales Engineering prepared turning movement templates for all project access movements as well as for the turnaround. The turning template exhibits are provided in Appendix E. A WB-67 design vehicle was used as a conservative measure. The analysis showed that a large truck such as the WB-67 will be able to make all movements at the access and the turnaround based on the proposed site plan.

No other improvements by third parties are required prior to full buildout of this project.

5. The release rate from the road runoff and each lot will need to be adjusted to 0.1 cfs/acre. A storm drain pipe will need to be installed in 9175 West to provide a connection to the drainage channel that runs through the subdivision for each lot to drain to. The proposed detention pond calculations need to be revised for the 0.1 release rate.

Please reference code regarding the new reduced storm release rate. We have updated the drainage calculations to reflect 0.1 cfs/acre as requested. The pond design still has more than enough capacity.

Lots 1, 2 and 3 slope to the west. They will not generally need to discharge to the 9175 West roadway that is uphill. We have designed the pond larger with the anticipation that some portion of these lots may be constructed to slope east to the gutter along 9175 W. However, these lots will detain at the lower west end of the individual lots, then they can discharge to ditch to the southwest via the west drainage easement. See note on site plan sheet 2 and PUE/DE on plat.

6. The storm drain pipe that crosses 900 South will need to be extended to the north to get beyond the proposed widening.

Storm drain pipe now shows extended on the design drawings

7. Sheet 4 shows an existing 8" PVC utility conduit under the proposed asphalt. This line will need to either be capped or removed to prevent any sinkholes.

This old conduit has been removed from the site.

8. An excavation permit is required for all work done within the existing right-of-way.

Thank you for the reminder. Standard Note #6 on title sheet already reminds contractor to obtain permit for all work done within the existing right of way, and all permits and inspections required for this construction.

9. All improvements need to be either installed or escrowed for prior to recording of the subdivision. A cost estimate for the improvements, including a 10% warranty guarantee amount, will need to be submitted for review.

Thank you for the reminder. A cost estimate for the improvements will be provided after improvement drawings have been approved by county. If you have required unit prices or other requirements for the estimate, please provide reference to those requirements.

10. A Storm Water Construction Activity Permit is required for any construction that:

1. disturbs more than 5000 square feet of land surface area, or
2. consist of the excavation and/or fill of more than 200 cubic yards of material, or
3. requires a building permit for which excavation or fill is a part of the construction, and less than five acres shall apply for a county permit.

Thank you for the reminder. Standard Note #6 on title sheet already reminds contractor to obtain permit for all work done within the existing right of way, and all permits and inspections required for this construction. Grading Note #5 on title sheet already reminds contractor regarding SWPPP and associated permit.

11. A Storm Water Pollution Prevention Plan (SWPPP) is now required to be submitted for all new development where construction is required. The State now requires that a Utah Discharge Pollution Elimination Systems (UPDES) permit be acquired for all new development. A copy of the permit needs to be submitted to the county before final approval. Permits can now be obtained online thru the Utah State Department of Environmental Quality at the following web site: <https://secure.utah.gov/swp/client>.

Thank you for the reminder. Standard Note #6 on title sheet already reminds contractor to obtain permit for all work done within the existing right of way, and all permits and inspections required for this construction. Grading Note #5 on title sheet already reminds contractor regarding SWPPP and associated permit.

12. After all items have been addressed a wet stamped copy of the improvement drawings will be required.

Thank you for the reminder. We will provide hard copy with wet stamp after improvement drawings are approved.

I have tried to address all items of concern from the Engineering Department. However, this review does not forego other items of concern that may come to this department's attention during additional reviews or during construction of improvements.

Thank you for your diligence in reviewing the complete submittal. We have tried to address all items you noted of concern. We presume that there were

no changes to these plans that create new items of concern and hope that subsequent reviews will not find additional comments that were necessitated by changes to the plans made following the prior review.

It is the responsibility of property owners to ensure that they are not building over an easement.

Thank you for your diligence in reviewing the complete submittal. A title report was provided in the submittal. No easements are shown on title that interfere with construction of the proposed road and utility lines. We expect that lot owners will not build over an easement and county will have opportunity to confirm such when issuing a building permit to lot owners.

If you have any comments or questions concerning this review, feel free to contact me.

Thank

County Surveyors Comments

Thank you for your diligent review and redline comments on the plat.

We believe that all comments have been appropriately addressed.